



**SITE CLASSIFICATION**

REFER TO CONSULTING ENGINEERS SITE CLASSIFICATION REPORT REF No.230044 SOIL CLASSIFIED AS 'P' IN ACCORDANCE WITH AS2870-2011 SWIVEL JOINTS TO BE INSTALLED IN SEWER AND STORM WATER CONNECTIONS TO ALLOW FOR SOIL MOVEMENT IN ACCORDANCE WITH AS2870-2011 AND ENGINEERS SPECIFICATION DESIGN GUST WIND SPEED ASSESSED AS BEING N2 WIND RATING IN ACCORDANCE WITH AS4055-2012

**SITE NOTES**

PROPOSAL SUBJECT TO APPROVAL BY DEVELOPER PRIOR TO APPLICATION FOR BUILDING PERMIT FOUNDING DEPTHS TO BE INCREASED BEYOND THE LINE OF ANGLE OF REPOSE FROM INVERT LEVEL OF PIPES IN EASEMENTS SCRAPE SITE TO REMOVE SURFACE VEGETATION. CUT AND FILL BUILDING AREA APPROX 250mm AND PROVIDE LAYER OF SUITABLE CRUSHED QUARRY PRODUCT TO ACHIEVE A LEVEL BUILDING PLATFORM WITH APPROX. FINISHED SURFACE LEVEL OF RL100.4 PROVIDE ADDITIONAL SCRAPE TO GARAGE AREA TO ACCOMMODATE 86mm WAFFLE SLAB STEP DOWN.

REFER TO ENGINEERS SPECIFICATION FOR ALL STRUCTURAL FOOTING AND FRAMING DETAILS.

**SUSTAINABILITY**

PROVIDE EVACUATED TUBE SOLAR HOT WATER SYSTEM WITH GAS BOOST IN ACCORDANCE WITH PLUMBING REGULATIONS AND AS 4234

**STORM WATER**

STORM WATER DRAINAGE LAYOUT IS INDICATIVE ONLY AND WILL BE LAID IN ACCORDANCE WITH ENGINEERS DESIGN OR OTHERWISE AT THE DISCRETION OF A SUITABLY QUALIFIED TRADESPERSON

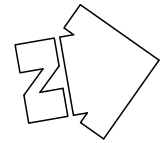
PROVIDE AG DRAINS TO BASE OF EXCAVATIONS AND DISCHARGE TO APPROVED POINT VIA SILT PITS

ALL STORM WATER TO DISCHARGE TO THE APPROVED POINT IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

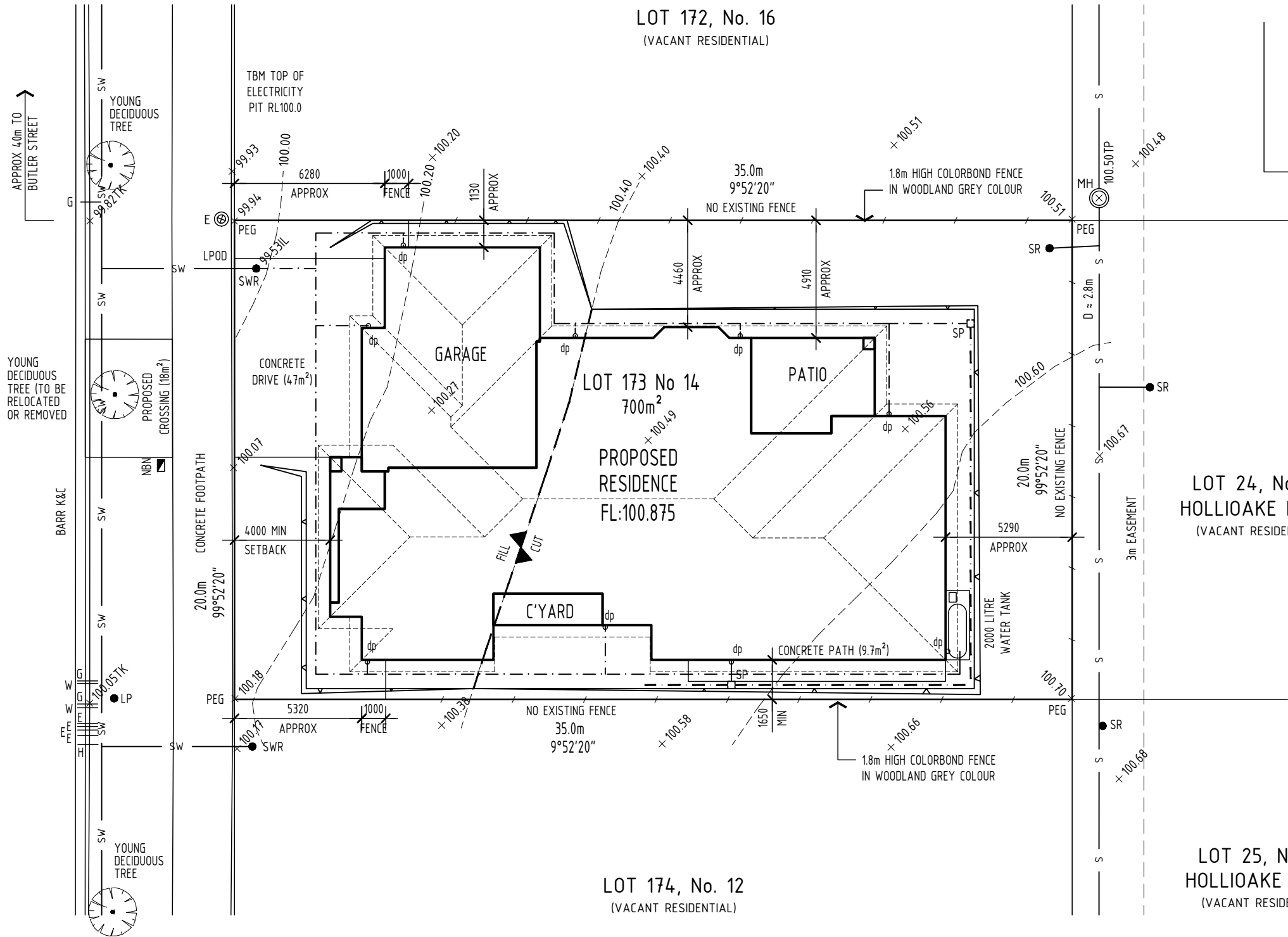
2000 LITRE RAINWATER TANK TO BE CONNECTED TO SANITARY FLUSHING IN ACCORDANCE WITH PLUMBING REGULATIONS AS 3500-1998; TO COLLECT WATER FROM MINIMUM 50m<sup>2</sup> OF ROOF AREA

**SITE AREA ANALYSIS**

SITE AREA	700m <sup>2</sup>
HARD SURFACES	57m <sup>2</sup>
SITE COVERAGE	343.5m <sup>2</sup> (49.1%)
GARDEN AREA	2309.6m <sup>2</sup> (44.2%)
PRIVATE OPEN SPACE	382m <sup>2</sup>
PERMEABILITY	300m <sup>2</sup> (42.8%)






PEASNELL STREET









EXISTING SITE PLAN			CLIENT:				
DATE:	AMENDMENT:		J & A WOODBRIDGE				
23.02.23	PRELIMINARY WORKING DRAWINGS ; NOT FOR CONSTRUCTION	LOT 173 PEASNELL STREET					
03.03.23	PRELIMINARY WORKING DRAWINGS REV A ; NOT FOR CONSTRUCTION	LUCAS 3350					
03.04.23	PRELIMINARY WORKING DRAWINGS REV B ; NOT FOR CONSTRUCTION	SCALE:	1:200	DATE:	06.04.23	SOIL:	P
06.04.23	CONSTRUCTION DRAWINGS	SHEET:	2 OF 11	DRAWN:	TWDS	WIND:	N2

©2023 THE WORKSHOP DRAFTING STUDIO 39 WHITES ROAD CARDIGAN VICTORIA 3352 0408 975 443 DP-AD 19938

### FLOOR COVERINGS

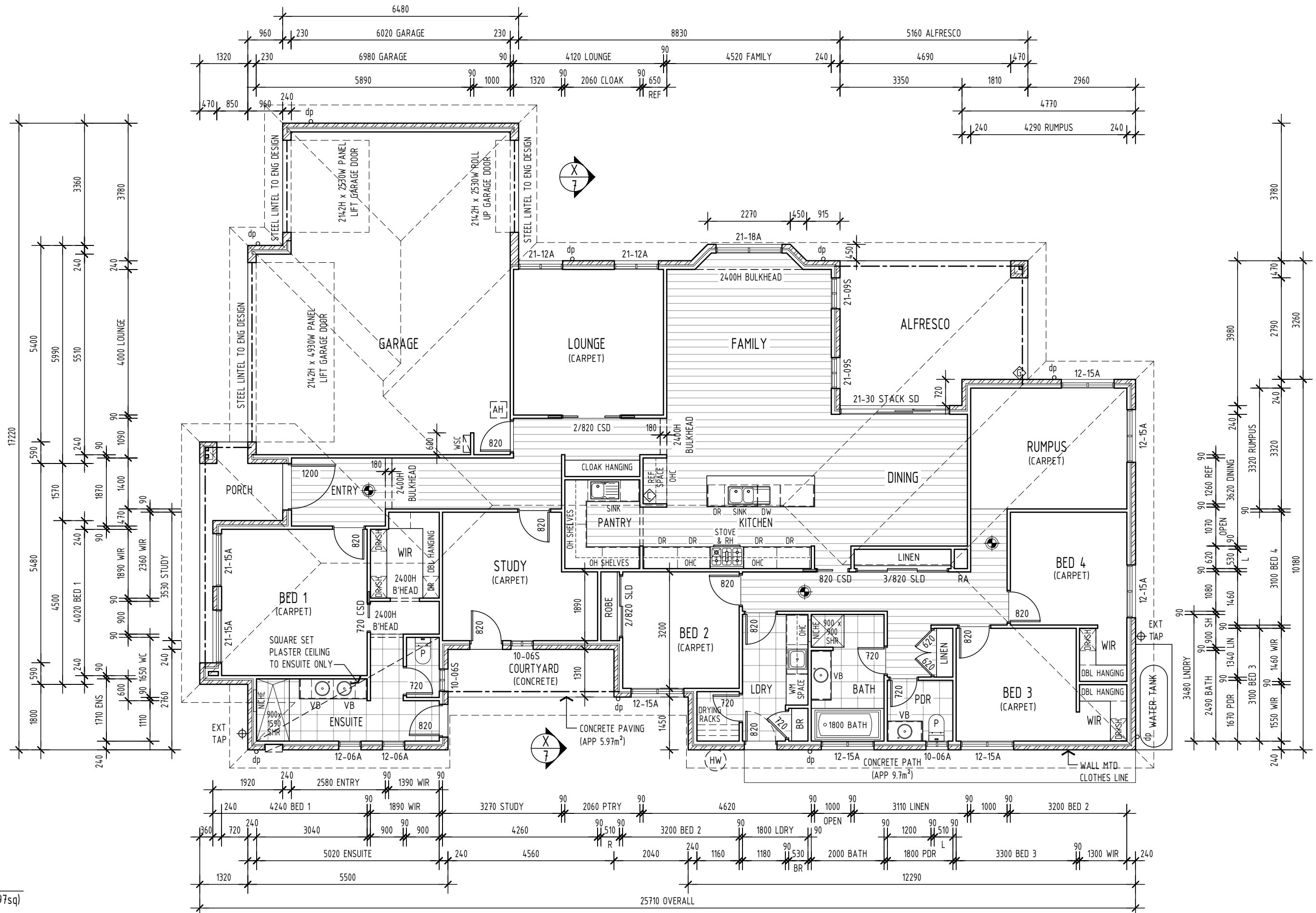
-  PROVIDE SELECTED FLOOR TILES TO WET AREAS AND ENSURE WATERPROOFING IS IN ACCORDANCE WITH BCA PART 3.8.1
-  DENOTES EXTENT OF SELECTED VINYL OR TIMBER FLOORING
-  PROVIDE SELECTED CARPET TO ALL OTHER AREAS EXCLUDING GARAGE

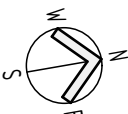
### GENERAL NOTES

-  CEILING ACCESS HATCH (APPROXIMATE LOCATION)
-  DENOTES BEAM OVER
-  HARD WIRED SMOKE ALARMS WITH BATTERY BACK-UP IN ACCORDANCE WITH BCA PART 3.7.2
-  DOWN PIPE CONNECTED VIA Ø90mm PVC PIPE TO LPOD IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS
- PROVIDE LIFT OFF HINGES TO SANITARY COMPARTMENTS
- ALUMINIUM FRAMED FLY SCREENS WITH ALUMINIUM MESH TO ALL OPENABLE WINDOWS
-  CAPPED GAS POINT
-  CAPPED COLD WATER POINT
- REFER TO ENGINEERS SPECIFICATION FOR ALL STRUCTURAL FOOTING DETAILS INCLUDING BRICKWORK ARTICULATION JOINT LOCATIONS
- WINDOW SIZES ARE NOMINAL ONLY; REFER TO MANUFACTURERS SPECIFICATION FOR EXACT SIZES AND INSTALLATION DETAILS.
- DOUBLE GLAZING THROUGHOUT REFER TO THERMAL PERFORMANCE ASSESSMENT FOR ALL GLAZING REQUIREMENTS.
- PROVIDE SAFETY GLAZING IN ACCORDANCE WITH AS1288
- PROVIDE SQUARE SET PLASTER CEILING TO ENSUITE ONLY
- PROVIDE SELECTED SOLID CORE ENTRANCE DOORS TO ENSUITE, LAUNDRY AND STUDY

### FLOOR AREAS

LIVING AREA	247.87m <sup>2</sup>
PORCH	5.77m <sup>2</sup>
GARAGE	64.65m <sup>2</sup>
PATIO	19.23m <sup>2</sup>
COURTYARD	5.97m <sup>2</sup>
<b>TOTAL</b>	<b>343.49m<sup>2</sup> (36.97sq)</b>

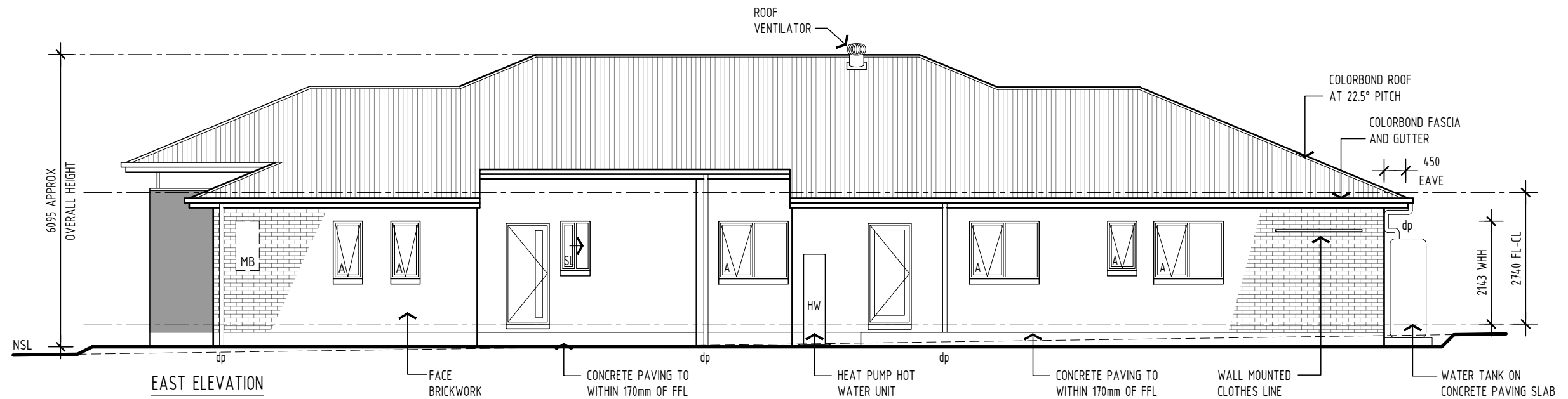
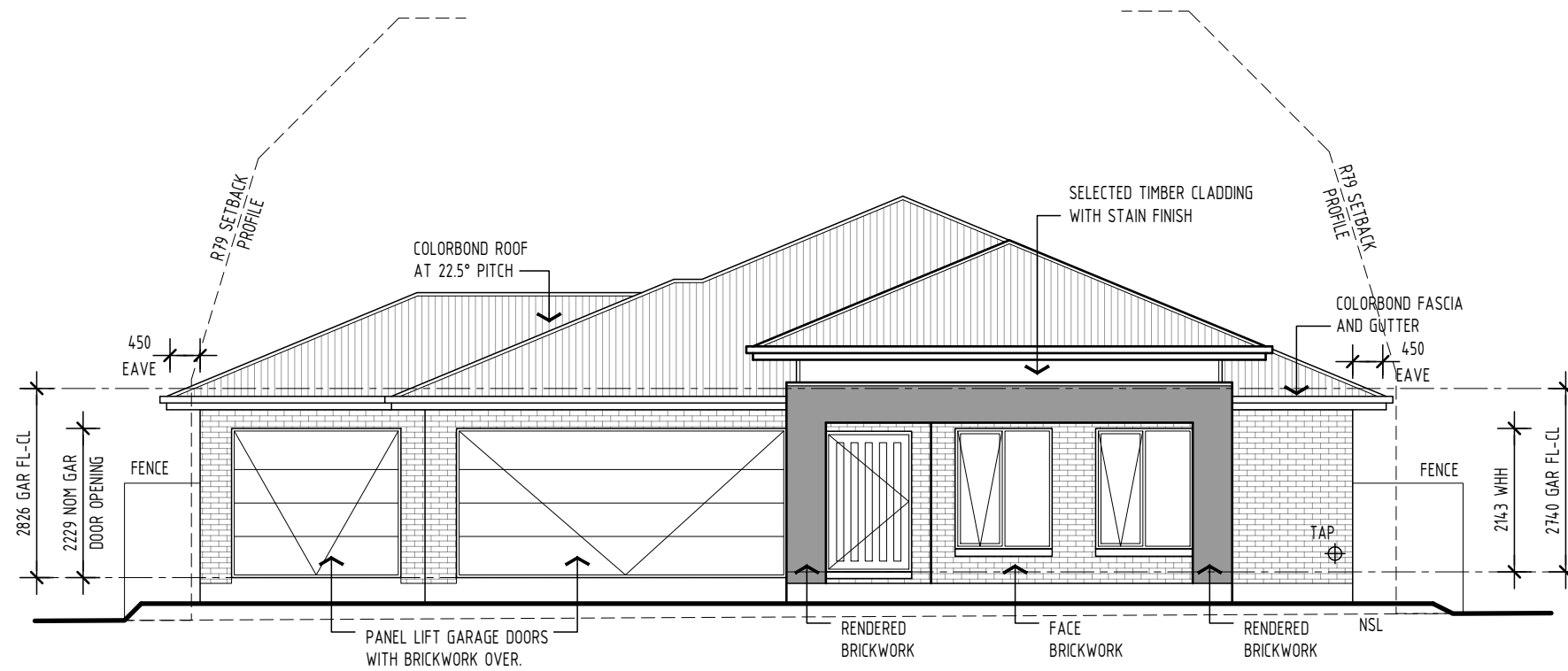


<b>FLOOR PLAN</b>			CLIENT: J & A WOODBRIDGE		
DATE: 23.02.23			SITE ADDRESS: LOT 173 PEASNELL STREET LUCAS 3350		
AMENDMENT: PRELIMINARY WORKING DRAWINGS ; NOT FOR CONSTRUCTION			SCALE: 1:100	DATE: 06.04.23	SOIL: P
03.03.23 PRELIMINARY WORKING DRAWINGS REV A ; NOT FOR CONSTRUCTION			SHEET: 3	OF: 11	DRAWN: TWDS
03.04.23 PRELIMINARY WORKING DRAWINGS REV B ; NOT FOR CONSTRUCTION					
06.04.23 CONSTRUCTION DRAWINGS					

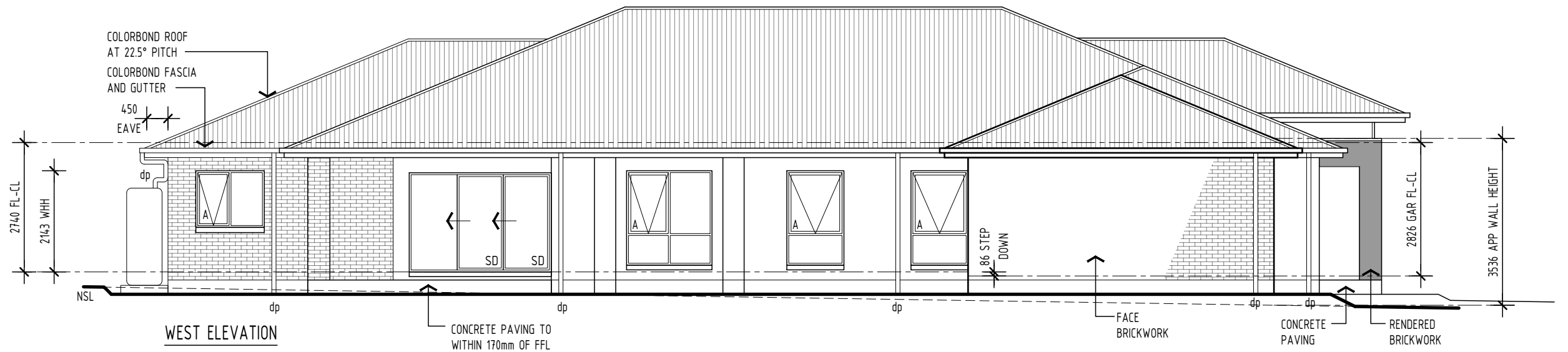
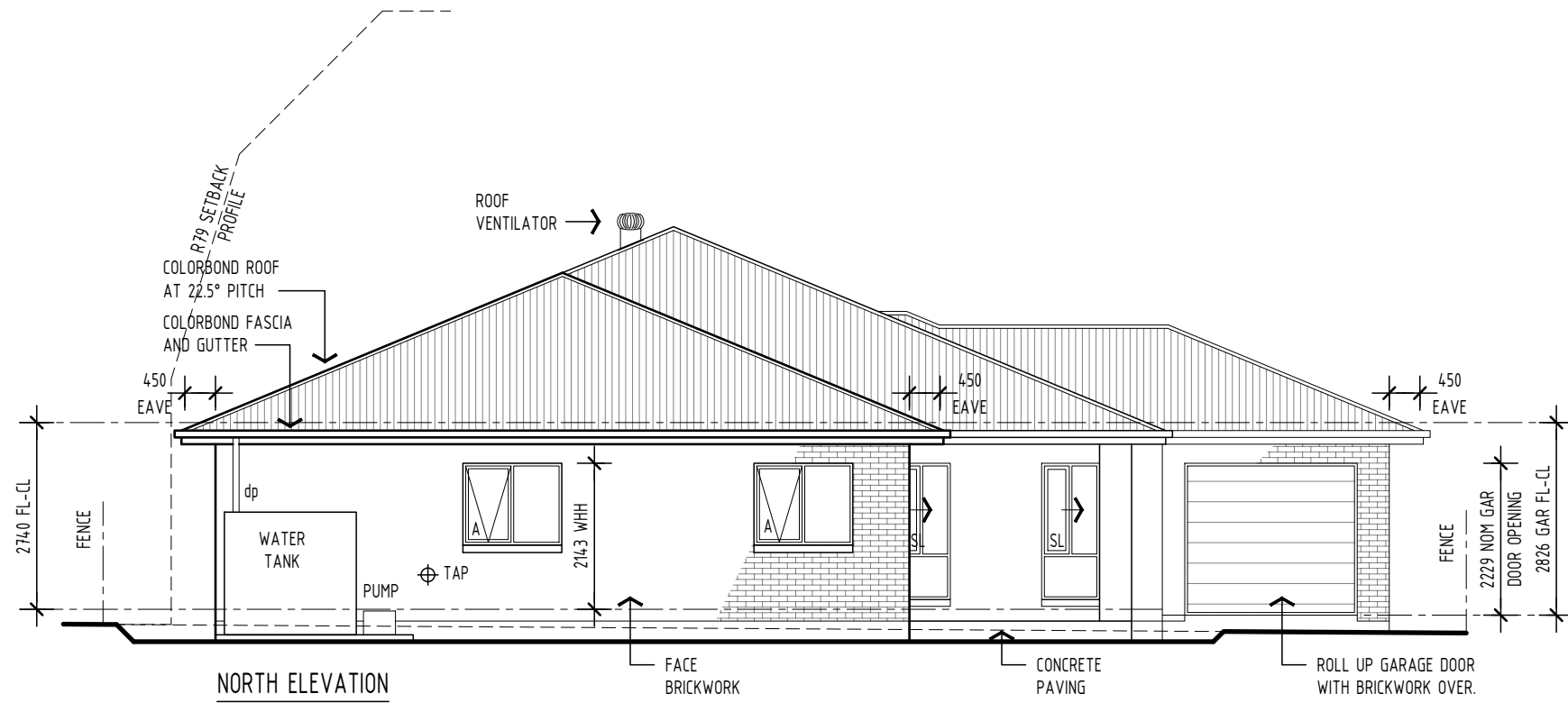
©2023 THE WORKSHOP DRAFTING STUDIO 39 WHITES ROAD CARDIGAN VICTORIA 3352 0408 975 443 DP-AD 19938

draffing4@bigpond.com

© 2023 THIS WORK IS EXCLUSIVELY OWNED BY JEMILLE CORBIC OF THE WORKSHOP DRAFTING STUDIO (THE DRAFTSPERSON) AND CANNOT BE MODIFIED, ALTERED, AMENDED, REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DRAFTSPERSON.



ELEVATIONS			CLIENT:	J & A WOODBRIDGE				
DATE:	AMENDMENT:		©2023 THE WORKSHOP DRAFTING STUDIO 39 WHITES ROAD CARDIGAN VICTORIA 3352 0408 975 443 DP-AD 19938 drafting4@bigpond.com	SITE ADDRESS:	LOT 173 PEASNELL STREET LUCAS 3350			
23.02.23	PRELIMINARY WORKING DRAWINGS ; NOT FOR CONSTRUCTION		SCALE:	1:100	DATE:	06.04.23	SOIL:	P
03.03.23	PRELIMINARY WORKING DRAWINGS REV A ; NOT FOR CONSTRUCTION		SHEET:	4	OF:	11	DRAWN:	TWDS
03.04.23	PRELIMINARY WORKING DRAWINGS REV B ; NOT FOR CONSTRUCTION						WIND:	N2
06.04.23	CONSTRUCTION DRAWINGS							



ELEVATIONS			CLIENT:	J & A WOODBRIDGE				
DATE:	AMENDMENT:		©2023 THE WORKSHOP DRAFTING STUDIO 39 WHITES ROAD CARDIGAN VICTORIA 3352 0408 975 443 DP-AD 19938	SITE ADDRESS:	LOT 173 PEASNELL STREET LUCAS 3350			
23.02.23	PRELIMINARY WORKING DRAWINGS ; NOT FOR CONSTRUCTION		SCALE:	1:100	DATE:	06.04.23	SOIL:	P
03.03.23	PRELIMINARY WORKING DRAWINGS REV A ; NOT FOR CONSTRUCTION		SHEET:	5 OF 11	DRAWN:	TWDS	WIND:	N2
03.04.23	PRELIMINARY WORKING DRAWINGS REV B ; NOT FOR CONSTRUCTION							
06.04.23	CONSTRUCTION DRAWINGS							

LIGHTING LEGEND		DATA	
	CEILING LIGHT BATTEN HOLDER		CEILING FAN WITH LIGHT
	PENDANT LIGHT FITTINGS		PARAFLOOD LIGHT - SINGLE
	LOW VOLTAGE DOWNLIGHT (LED)		PARAFLOOD LIGHT - DOUBLE
	LV DOWNLIGHT (LED) ON GIMBLE		SECURITY MOTION SENSOR
	EXTERNAL LIGHT POINT		1200 LED FLUORO - SINGLE
	DIMMER LIGHT SWITCH		1200 FLUORO - DOUBLE
	HEATER/FAN/LIGHT - 4 GLOBE		CEILING EXHAUST FAN
		ALL DATA CABLES TO BE RUN BACK TO WSC @ 2300 HIGH AND PATCHED RJ45 T568A	

POWER LEGEND		HEATING LEGEND	
	SINGLE GPO - 300mm		DOUBLE GPO - 300mm
	SINGLE GPO - 1100mm		DOUBLE GPO - 1100mm (OR ABOVE BENCH)
	SINGLE GPO - 1350mm		DOUBLE GPO - 1350mm
WP	WEATHERPROOF		TELEVISION POINT
	SINGLE GPO FOR DISHWASHER		CAPPED GAS POINT
T	TELEPHONE POINT		SMOKE DETECTOR
	SINGLE GPO FOR MICROWAVE IN CABINET		METER BOX
DATA	DATA POINT		STOVE & R'HOOD CONNECTIONS
		WSC	WIRED SERVICES CABINET

HEATING LEGEND	
	HEATING REGISTER (CEILING)
	THERMOSTAT
	RETURN AIR VENT
	EVAPORATIVE COOLING REGISTER (CEILING)
	EVAPORATIVE COOLING UNIT (ON ROOF)
ALL DETAILS TO BE VERIFIED AND CONFIRMED BY APPOINTED INSTALLER, LOCATIONS ARE SUBJECT TO CHANGE AND DEPENDENT UPON LOCATION OF STRUCTURAL MEMBERS. REFER MANUFACTURERS SPECIFICATION FOR ELECTRICAL CONNECTION DETAILS	

**NOTE:**

THE LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF INTERNAL ARTIFICIAL LIGHTING MUST NOT EXCEED 5W/m<sup>2</sup>, 4W/m<sup>2</sup> FOR A VERANDA AND 3W/m<sup>2</sup> IN A CLASS 10a BUILDING IN ACCORDANCE WITH BCA PART 3.12.5.5

LIVING AREA 247.87m<sup>2</sup>  
 37 No 9W LED DOWN LIGHTS = 333W  
 3 No 9W LED PENDANT LIGHTS = 27W  
 TOTAL = 360W/247.87m<sup>2</sup> = 1.45W/m<sup>2</sup>

PORCH AREA 5.77m<sup>2</sup>  
 1No 9W LED DOWN LIGHT = 9W  
 TOTAL = 9W/5.77m<sup>2</sup> = 1.56W/m<sup>2</sup>

PATIO AREA 19.23m<sup>2</sup>  
 4 No 9W LED DOWN LIGHTS = 36W  
 TOTAL = 36W/19.23m<sup>2</sup> = 1.87W/m<sup>2</sup>

GARAGE AREA 64.65m<sup>2</sup>  
 3 No 27W FLOURESCENT LED = 81W  
 TOTAL = 81W/64.65m<sup>2</sup> = 1.25W/m<sup>2</sup>

AIR EXHAUST SYSTEMS TO SANITARY COMPARTMENTS AND BATHROOMS TO HAVE A MINIMUM FLOW RATE OF 25L/MIN AND MUST BE EXHAUSTED DIRECTLY TO THE ATMOSPHERE VIA SHAFT OR DUCT.  
 AIR EXHAUST SYSTEMS FOR KITCHEN AND LAUNDRY TO HAVE A MINIMUM FLOW RATE OF 40L/MIN.

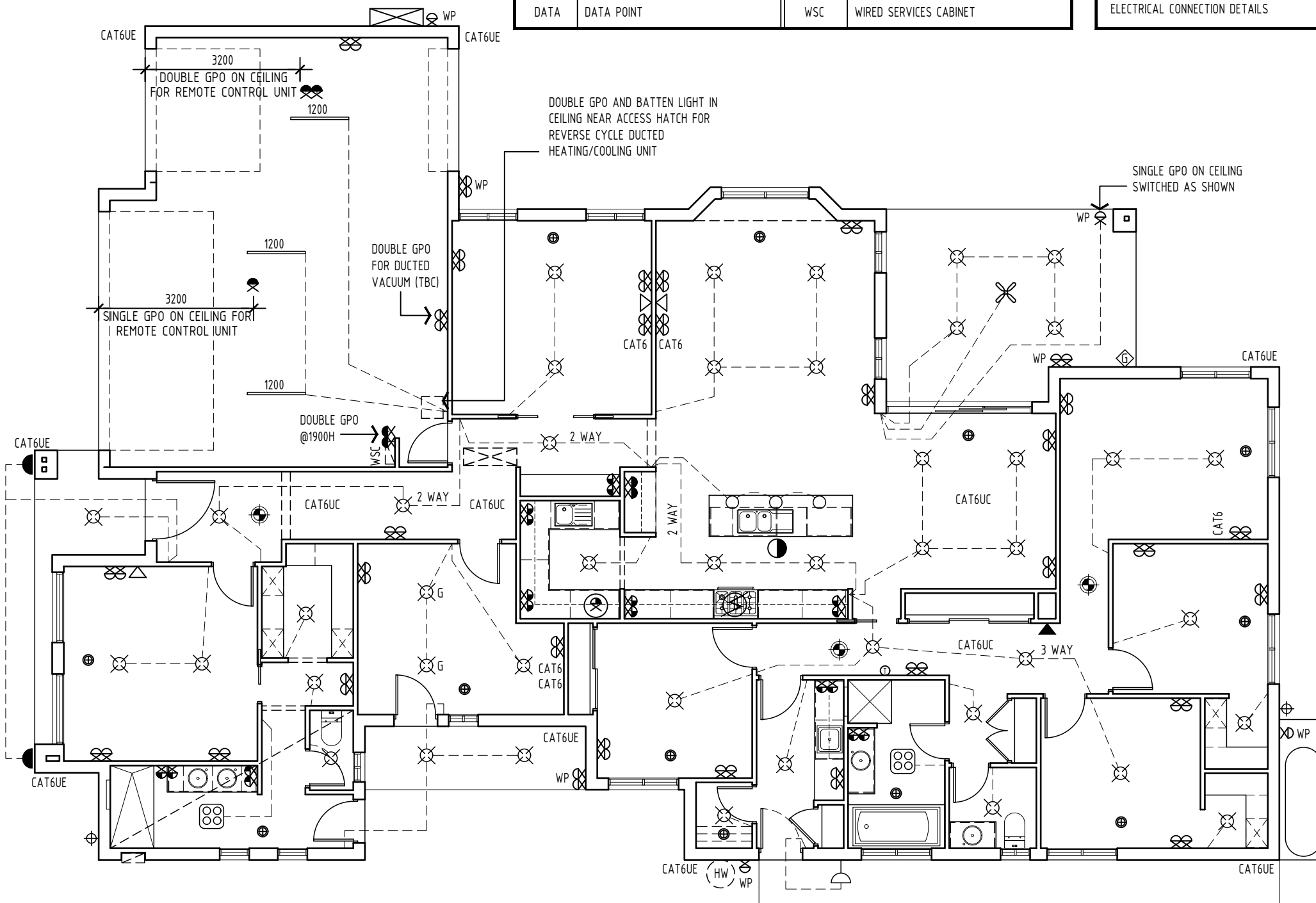
ALL EXTERNALLY VENTED AIR EXHAUST SYSTEMS TO BE FITTED WITH SELF CLOSING DAMPERS

EXTERNAL LIGHT FITTINGS TO HAVE DAYLIGHT SENSORS

ALL DOWNLIGHTS TO BE IC RATED (SUITABLE FOR CONTACT WITH INSULATION)

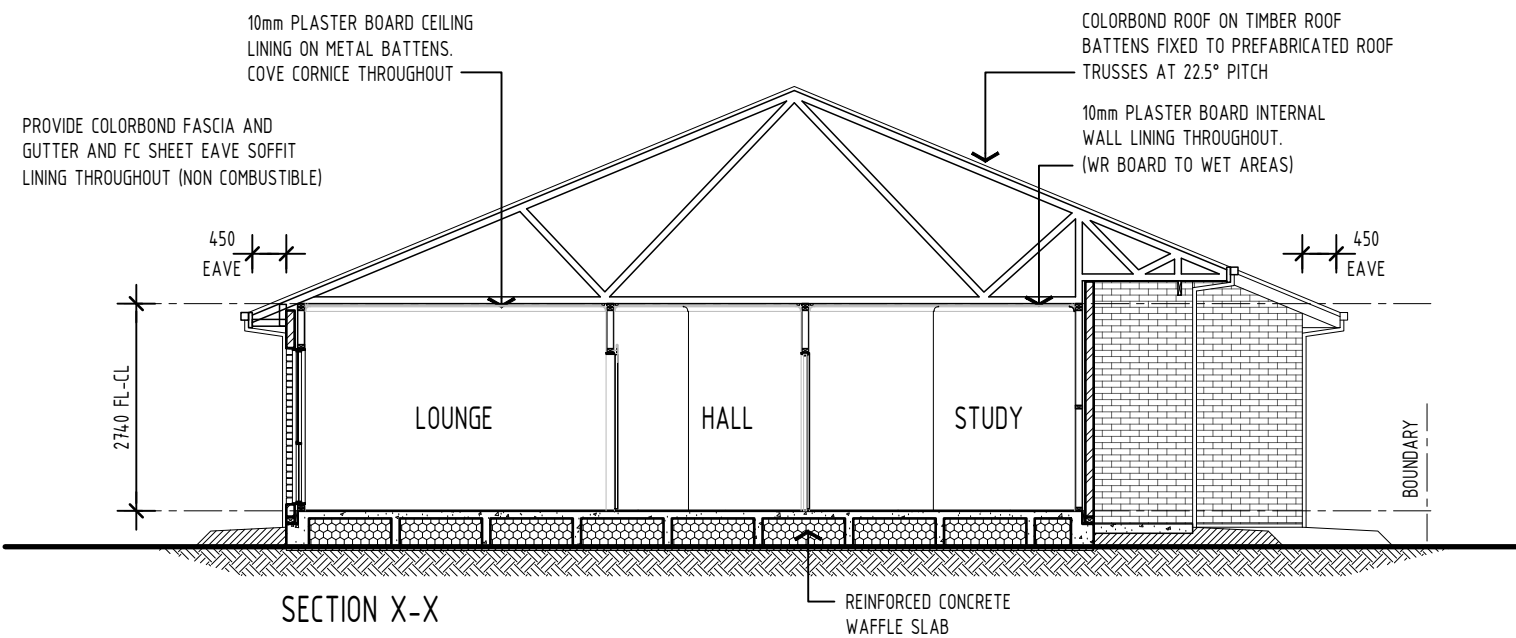
BUILDER TO INSTALL CLIENT SUPPLIED BACK-LIT MIRRORS TO ENSUITE AND WIR INCLUDING ELECTRICAL CONNECTION. CLIENT TO PROVIDE DETAILS. 2 No TOTAL

BUILDER TO INSTALL CLIENT SUPPLIED DIGITAL LOCKS TO ALL EXTERNAL DOORS AND INTERNAL GARAGE ACCESS DOOR. CLIENT TO PROVIDE DETAILS.



ELECTRICAL LAYOUT		CLIENT:	
DATE:	AMENDMENT:	SITE ADDRESS:	J & A WOODBRIDGE
23.02.23	PRELIMINARY WORKING DRAWINGS ; NOT FOR CONSTRUCTION		LOT 173 PEASNELL STREET
03.03.23	PRELIMINARY WORKING DRAWINGS REV A ; NOT FOR CONSTRUCTION		LUCAS 3350
03.04.23	PRELIMINARY WORKING DRAWINGS REV B ; NOT FOR CONSTRUCTION	SCALE:	1:100
06.04.23	CONSTRUCTION DRAWINGS	DATE:	06.04.23
		SHEET:	8 OF 11
		DRAWN:	TWDS
		SOIL:	P
		WIND:	N2

©2023 THE WORKSHOP DRAFTING STUDIO  
 39 WHITES ROAD  
 CARDIGAN  
 VICTORIA 3352  
 0408 975 443  
 DP-AD 19938  
 draffing4@bigpond.com



**SECTION X-X**

REFER TO ENGINEERS SPECIFICATION FOR ALL STRUCTURAL FOOTING DETAILS  
 TRUSSES ARE SHOWN FOR ILLUSTRATION PURPOSES ONLY. REFER TO TRUSS AND FRAME MANUFACTURERS SPECIFICATION FOR ALL TRUSS, FRAME, BRACING, TIE DOWN AND INSTALLATION DETAILS

NOTE: FINISHED SLAB HEIGHT OF DWELLING TO BE MINIMUM 150mm ABOVE FINISHED SURFACE LEVEL, OR 50mm ABOVE PAVED AREAS IN ACCORDANCE WITH NCC PART 3.13.3  
 GRADE FINISHED SURFACES AWAY FROM SLAB EDGE MIN 50mm OVER THE FIRST 1m. REFER TO ENGINEERS SPECIFICATION FOR SURFACE DRAINAGE REQUIREMENTS

**THERMAL PERFORMANCE:**  
 PROVIDE MIN R2.5 THERMAL INSULATION BATTS TO ALL EXTERNAL STUD FRAMES AND INTERNAL GARAGE/HOUSE STUD FRAMES.  
 PROVIDE MIN R5.0 THERMAL INSULATION BATTS TO CEILINGS EXCLUDING GARAGE. PROVIDE R1.3 ANTICON BLANKET TO ROOF EXCLUDING GARAGE.  
 PROVIDE DRAUGHT EXCLUDERS TO ALL EXTERNAL DOORS  
 PROVIDE SELF CLOSING DAMPERS TO ALL EXHAUST FANS  
 PROVIDE VAPOUR PERMEABLE SARKING UNDER ROOF SHEETS, SISALATION MD 433 OR SIMILAR AND VAPOUR PERMEABLE FRAME WRAP, BRADFORD ENVIROSEAL RW OR SIMILAR TO EXTERNAL WALL FRAMES; LAP AND TAPE JOINS AND PENETRATIONS SECURELY  
 PROVIDE DOUBLE GLAZING TO WINDOWS AND GLAZED EXTERNAL SLIDING DOORS THROUGHOUT  
 REFER TO THERMAL PERFORMANCE ASSESSMENT FOR GLAZING REQUIREMENTS AND FOR ALL DETAILS OF COMPLIANCE WITH ENERGY EFFICIENCY PROVISIONS OF BCA PART 3.12  
 100mm SLAB THICKNESS WITH 375mm WAFFLE PODS IN ACCORDANCE WITH ENGINEERS DESIGN REF 230044  
 WHERE THERE IS DOUBT, BUILDER TO REFER TO ABCB PUBLICATION 'CONDENSATION IN BUILDINGS' FOR GUIDANCE

REFER TO TRUSS AND WALL FRAME MANUFACTURERS SPECIFICATION FOR BRACING AND TIE DOWN DETAILS									
35mm BOTTOM PLATE (JD5)-SINGLE STOREY TO CONCRETE SLAB									
TRUSS SPAN (mm)	FIXING SPACING	WIND CLASSIFICATION (HIP ROOF PITCH BETWEEN 15° AND 25°)							
		N1		N2		N3		N4	
		TILE	SHEET	TILE	SHEET	TILE	SHEET	TILE	SHEET
<3000	450	N	N	N	N	N	N	N	N
	600	N	N	N	N	N	N	N	M10
	900	N	N	N	N	N	N	M10	M10
	1200	N	N	N	N	N	M10	M10	M10
<6000	450	N	N	N	N	N	M10	M10	M10
	600	N	N	N	N	N	M10	M10	M10
	900	N	N	N	N	N	M10	M10	M10
	1200	N	N	N	M10	M10	M10	M10	M10
<9000	450	N	N	N	N	N	M10	M10	M10
	600	N	N	N	M10	N	M10	M10	M10
	900	N	N	N	M10	N	M10	M10	M10
	1200	N	N	N	M10	M10	M10	M10	M12
<12000	450	N	N	N	M10	N	M10	M10	M10
	600	N	N	N	M10	M10	M10	M10	M10
	900	N	N	N	M10	M10	M10	M10	M12
	1200	N	N	N	M10	M10	M10	M10	M12
<15000	450	N	N	N	M10	M10	M10	M10	M10
	600	N	N	N	M10	M10	M10	M10	M12
	900	N	N	N	M10	M10	M10	M10	M12
	1200	N	N	N	M10	M10	M12	M12	M12

N=NOMINAL FIXING: 1x75mm MASONRY NAIL (HAND DRIVEN AT SLAB EDGE)  
 M10=1/1M10x100 RAMSET ANKASCREW (AT SLAB EDGE)  
 M12=1M12x100 RAMSET ANKASCREW (AT SLAB EDGE)

SHEET ROOF LINTELS (F17) KDHW SINGLE STOREY			SHEET ROOF LINTELS (F17) KDHW SINGLE STOREY		
TRUSS SPAN (mm)	OPENING WIDTH	F17	TRUSS SPAN (mm)	OPENING WIDTH	F17
UP TO 3000	900	90x35	6000 TO 9000	900	90x35
	1200	90x35		1200	90x45
	1500	90x35		1500	2/90x45
	1800	90x45		1800	140x35
	2100	2/90x35		2100	2/120x45
	2400	120x45		2400	2/140x45
	3000	2/140x35		3000	2/170x45
3000 TO 6000	900	90x35	9000 TO 12000	900	90x35
	1200	90x35		1200	2/90x35
	1500	2/90x35		1500	120x45
	1800	2/90x45		1800	2/120x35
	2100	2/120x35		2100	2/140x35
	2400	2/120x45		2400	190x45
	3000	2/170x35		3000	2/190x45
	3600	2/240x35	3600	2/240x45	

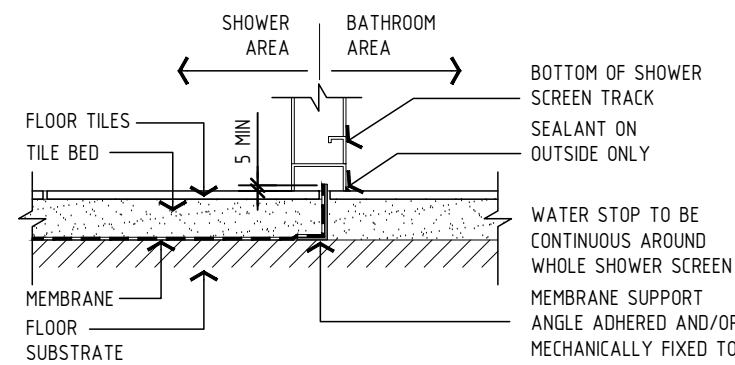
ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH NCC 2018 (BCA) AND COMPLY WITH AS 1684-CURRENT EDITION

TIMBER FRAMING	
MEMBER	SIZE
TOP PLATE	2/90x35 MGP10
BOTTOM PLATE	90x45 MGP10
COMMON STUDS	90x35 MGP10 @450mm CTS, 2700mm MAX HEIGHT
NOGGINGS	70x35 MGP10 @1350mm CTS MAX

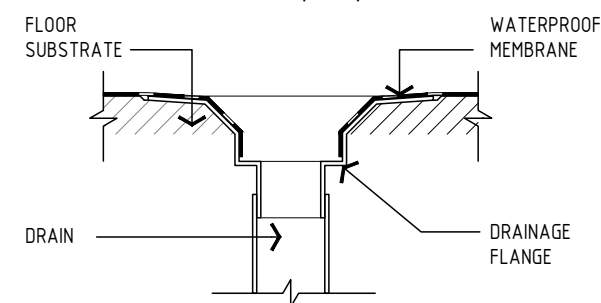
AS3740 3.13.5 UNENCLOSED SHOWERS  
 REQUIREMENTS FOR UNENCLOSED SHOWERS ARE AS FOLLOWS:  
 TYPE 1 - A TYPE 1 UNENCLOSED SHOWER HAS A DEVICE THAT WILL RESTRICT SPLASHING DURING USE (SEE NOTE 1).  
 A WATER STOP SHALL BE PLACED UNDER THE DEVICE AND ACROSS THE OPENING OF THE SHOWER OF A TYPE 1 SHOWER SCREEN.

NOTES:  
 1. An example of a Type 1 unenclosed shower is a frameless glass shower screen.  
 2. It is advisable to have either the screed drained or a membrane placed on the top of the screed to prevent water retention in the screed beyond the water stop.  
 TYPE 2 - A TYPE 2 UNENCLOSED SHOWER DOES NOT HAVE A DEVICE THAT WILL RESTRICT SPLASHING.

NOTE:  
 An example of a Type 2 unenclosed shower is a shower for people with disabilities.  
 THE WATER STOP OF A TYPE 2 SHOWER SHALL BE A DISTANCE OF A MINIMUM OF 1500mm FROM THE WALL CONNECTION OF THE SHOWER ROSE.  
 FOR TYPE 1 AND TYPE 2 UNENCLOSED SHOWERS, THE WATER STOP SHALL HAVE THE VERTICAL LEG FINISH FLUSH WITH THE FINISH SURFACE OF THE FLOOR AND, WHERE THE WATER STOP INTERSECTS WITH OR JOINS A WALL, THE JUNCTION SHALL BE WATERPROOF.  
 FALLS IN SHOWER FLOORS SHALL BE SUFFICIENT TO PREVENT SURFACE WATER FROM BEING RETAINED ON THE SHOWER FLOOR (EXCEPT FOR RESIDUAL WATER REMAINING DUE TO SURFACE TENSION); AND WATER FROM DISCHARGING OUTSIDE THE SHOWER AREA.  
 FOR SHOWER AREAS WITH A VERTICAL SEPARATION BETWEEN THE SHOWER AREA AND THE WET AREA, SUCH AS A SHOWER SCREEN, HOB, STEP-DOWN OR WATER STOP, THE FALL TO THE WASTE SHALL BE 1:100. AS A MINIMUM FOR OTHER SHOWER AREAS, THE FALL SHALL BE A MINIMUM OF 1:80.



**SHOWERS WITHOUT HOBS OR SET DOWNS (NTS)**



**WATERPROOF MEMBRANE TO DRAINAGE CONNECTION (NTS)**

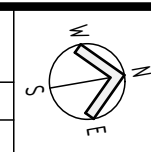
AT THE EXTREMITY OF THE SHOWER AREA-  
 a) WHERE A SHOWER SCREEN IS TO BE INSTALLED, A WATER STOP SHALL BE POSITIONED SO THAT ITS' VERTICAL LEG WILL FINISH A MINIMUM OF 5mm ABOVE THE FINISHED FLOOR LEVEL; AND  
 b) WHERE THE STOP INTERSECTS WITH A WALL OR IS JOINED, THE JUNCTION SHALL BE WATERPROOF

MEMBRANE TERMINATION TO A DRAINAGE FLANGE:  
 A DRAINAGE FLANGE SHALL BE INSTALLED WITH THE WATERPROOFING MEMBRANE TERMINATED AT/IN THE DRAINAGE FLANGE TO PROVIDE A WATERPROOF CONNECTION  
 IT IS PREFERABLE TO REBATE THE DRAINAGE FLANGE INTO THE SUBSTRATE

VERTICAL MEMBRANE TERMINATION:  
 THE MEMBRANE SHALL BE APPLIED OVER THE FLOOR SUBSTRATE AND UP THE VERTICAL FACE OF THE WALL-  
 a) FOR SHOWERS WITH HOBS AND STEP-DOWNS, A MINIMUM HEIGHT OF 150mm ABOVE THE FINISHED TILE LEVEL OF THE FLOOR OR 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL, WHICHEVER IS THE GREATER;  
 b) FOR HOBLESS SHOWERS, A MINIMUM HEIGHT OF 150mm ABOVE THE HIGHEST FINISHED TILE LEVEL OF THE FLOOR WITHIN THE SHOWER AREA; AND  
 c) FOR VERTICAL FLASHING IN SHOWER AREAS, AS SPECIFIED IN CLAUSE 3.9.2 OF AS3740

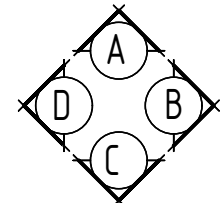
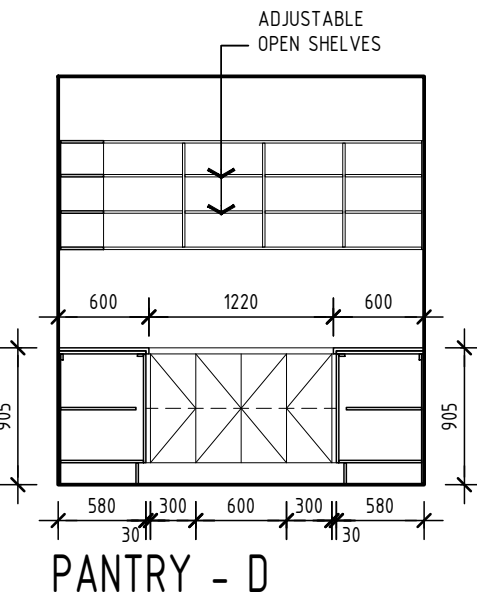
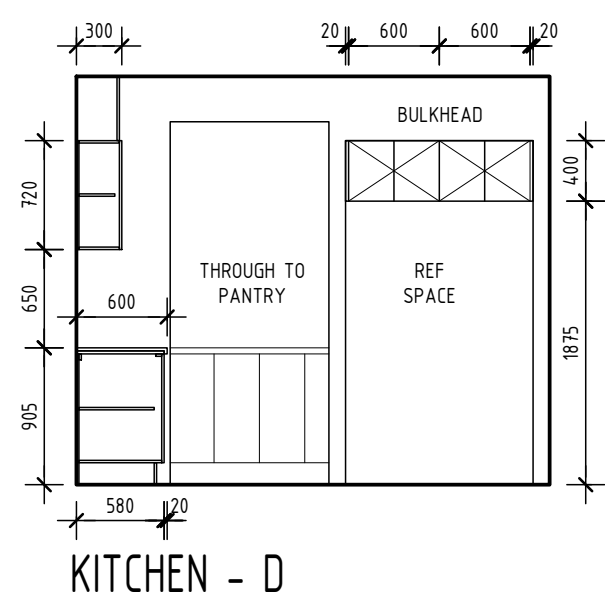
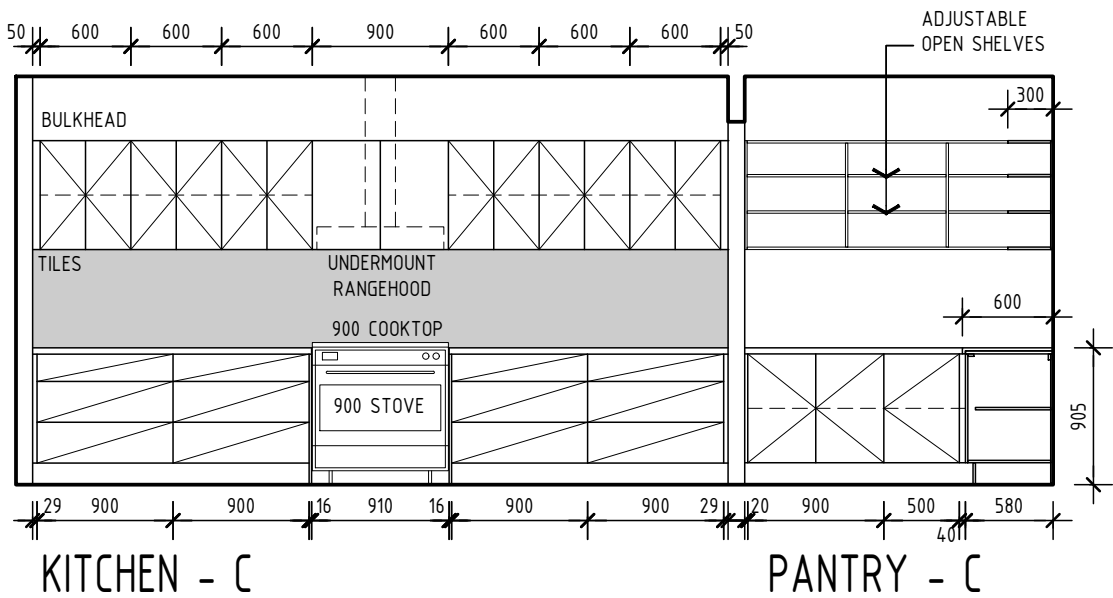
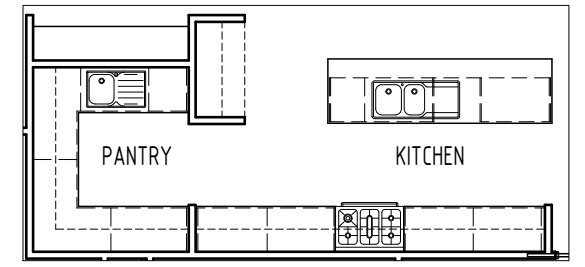
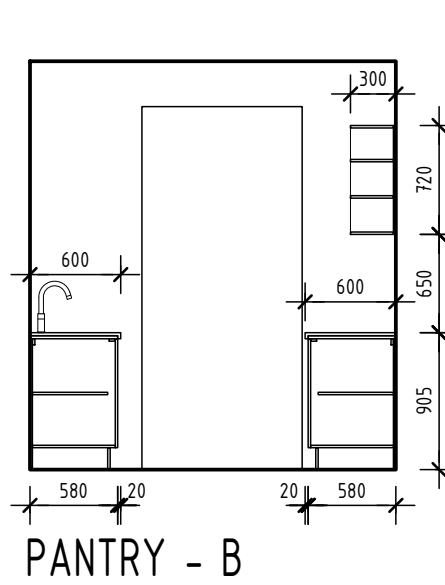
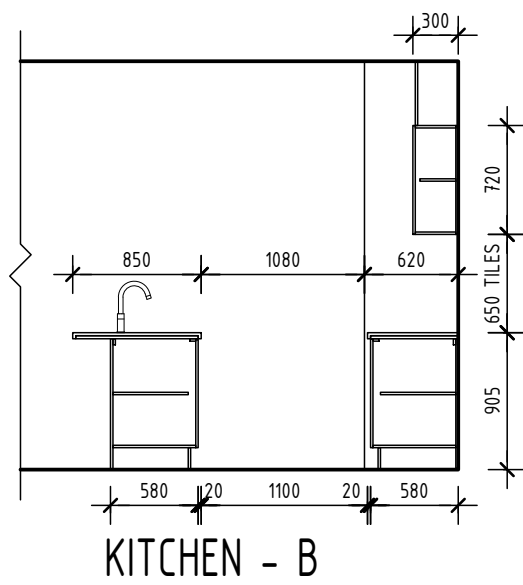
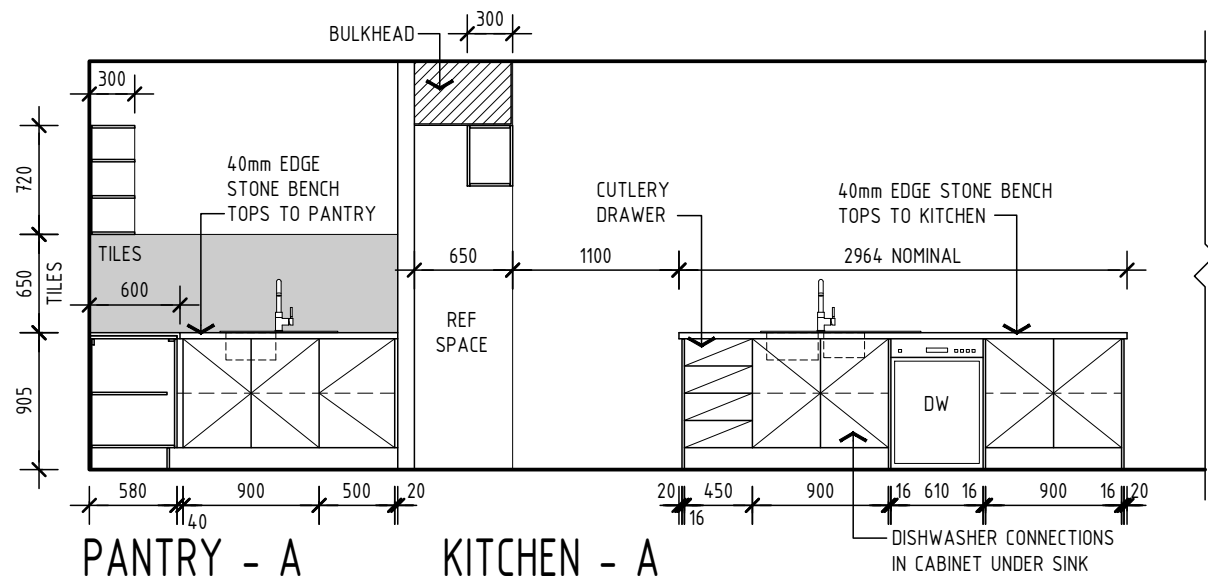
IN ANY CASE, ALL WATERPROOFING TO COMPLY WITH PROVISIONS OF PART 3.8.1 OF NCC

SECTIONS, DETAILS	
DATE:	AMENDMENT:
23.02.23	PRELIMINARY WORKING DRAWINGS ; NOT FOR CONSTRUCTION
03.03.23	PRELIMINARY WORKING DRAWINGS REV A ; NOT FOR CONSTRUCTION
03.04.23	PRELIMINARY WORKING DRAWINGS REV B ; NOT FOR CONSTRUCTION
06.04.23	CONSTRUCTION DRAWINGS

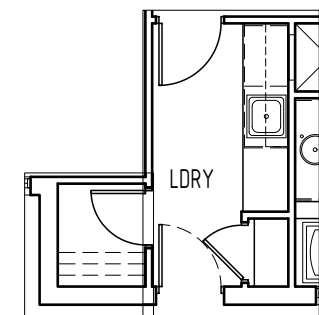
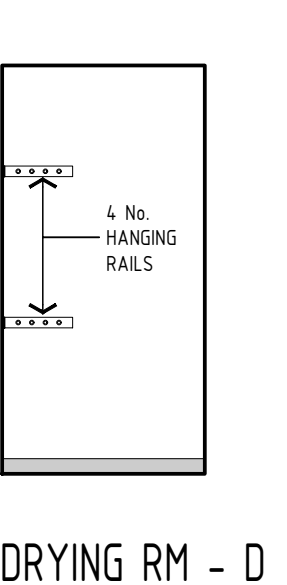
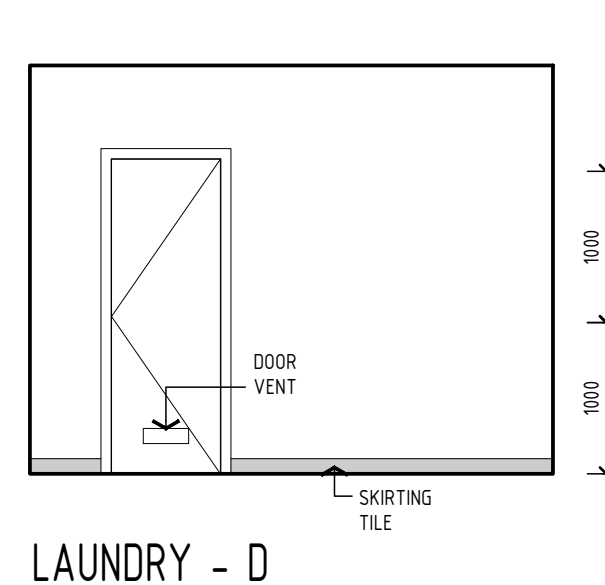
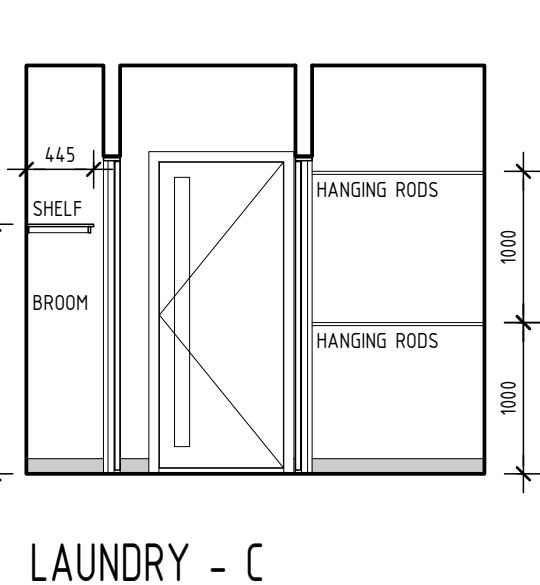
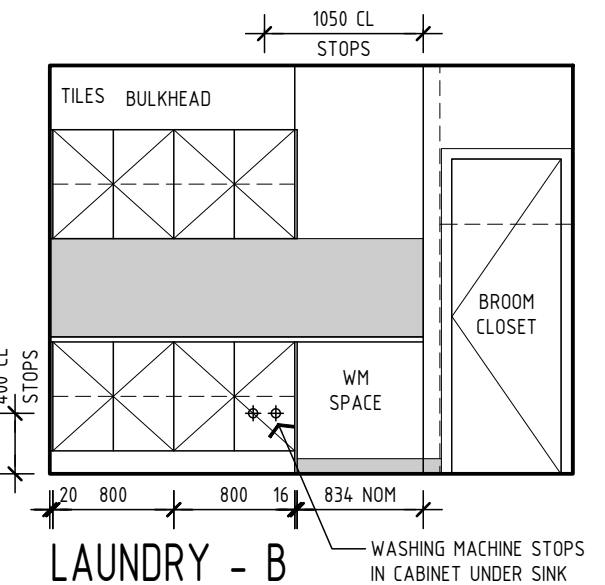
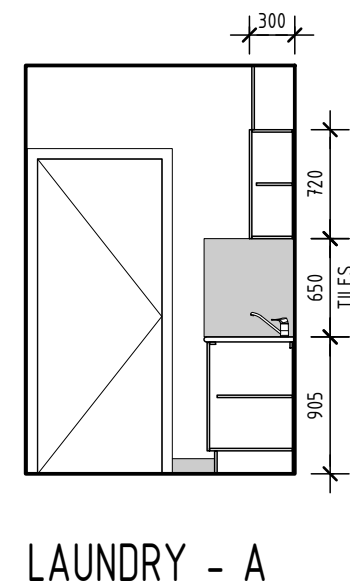


©2023 THE WORKSHOP DRAFTING STUDIO  
 39 WHITES ROAD  
 CARDIGAN  
 VICTORIA 3352  
 0408 975 443  
 DP-AD 19938

CLIENT:	J & A WOODBRIDGE		
SITE ADDRESS:	LOT 173 PEASNELL STREET LUCAS 3350		
SCALE:	1:100	DATE:	06.04.23
SHEET:	6 OF 11	DRAWN:	TWDS
		SOIL:	P
		WIND:	N2



ALL DIMENSIONS ARE EX PLASTER. THESE DETAILS FOR ILLUSTRATIVE PURPOSES ONLY. CABINETMAKER TO CONFIRM BY SITE MEASURE. REFER TO SPECIFICATION FOR DETAILS OF ALL APPLIANCES AND FIXTURES

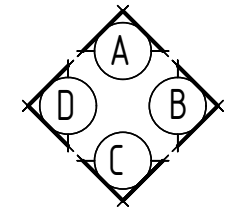
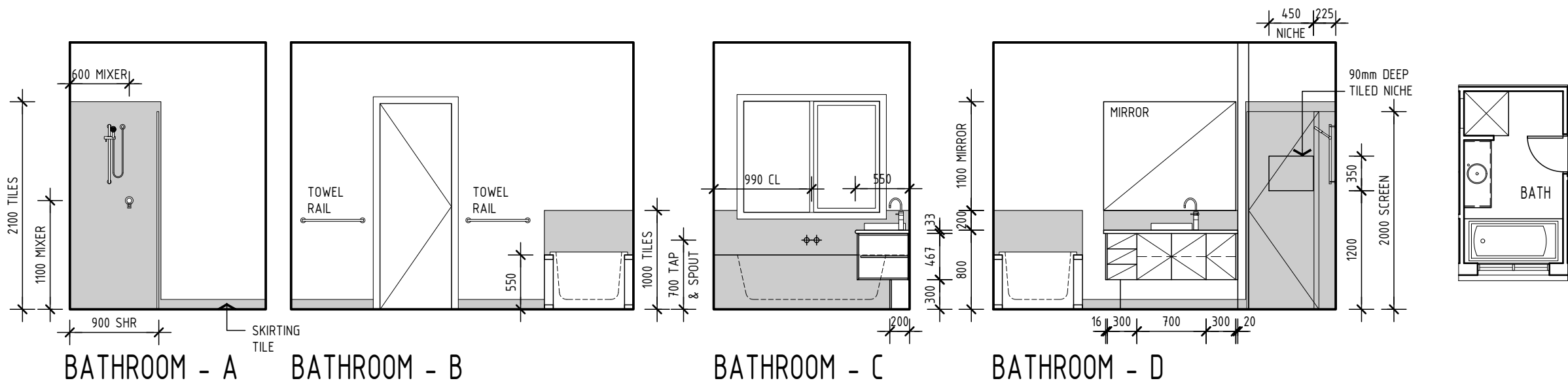


INTERNAL ELEVATIONS		
DATE:	AMENDMENT:	
23.02.23	PRELIMINARY WORKING DRAWINGS ; NOT FOR CONSTRUCTION	
03.03.23	PRELIMINARY WORKING DRAWINGS REV A ; NOT FOR CONSTRUCTION	
03.04.23	PRELIMINARY WORKING DRAWINGS REV B ; NOT FOR CONSTRUCTION	
06.04.23	CONSTRUCTION DRAWINGS	

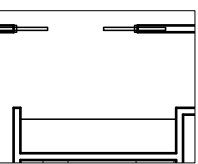
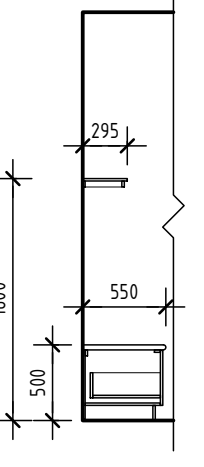
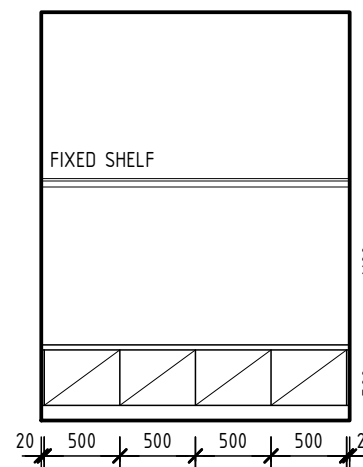
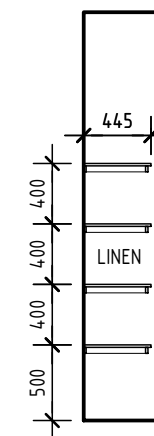
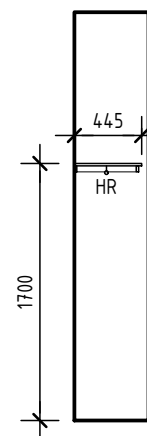
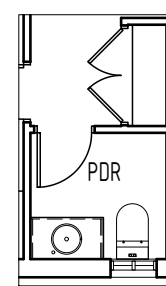
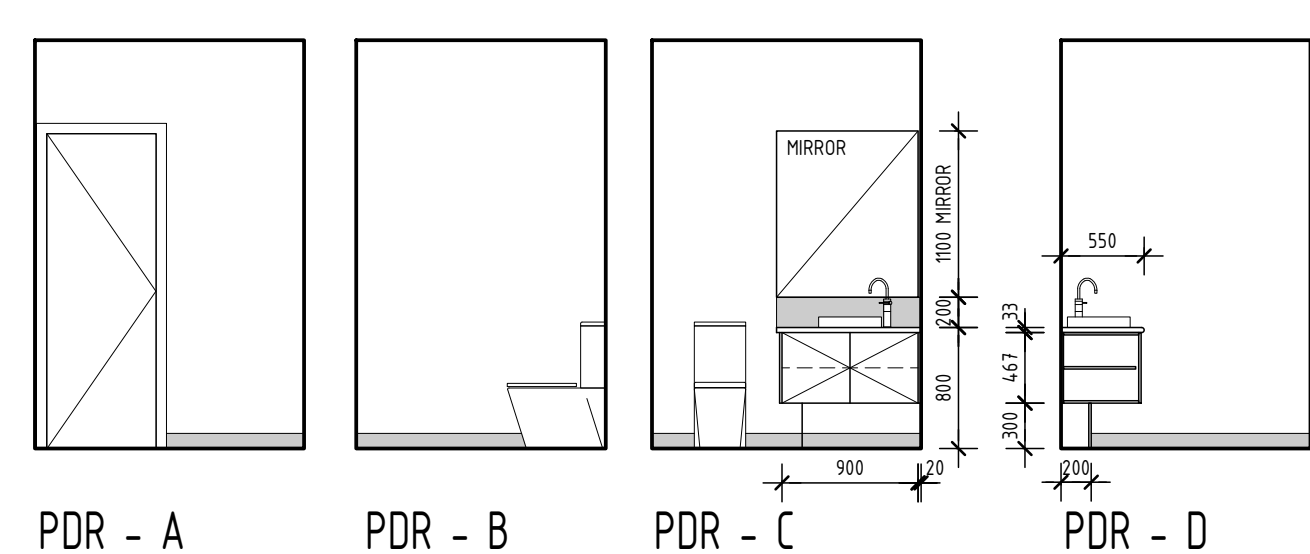
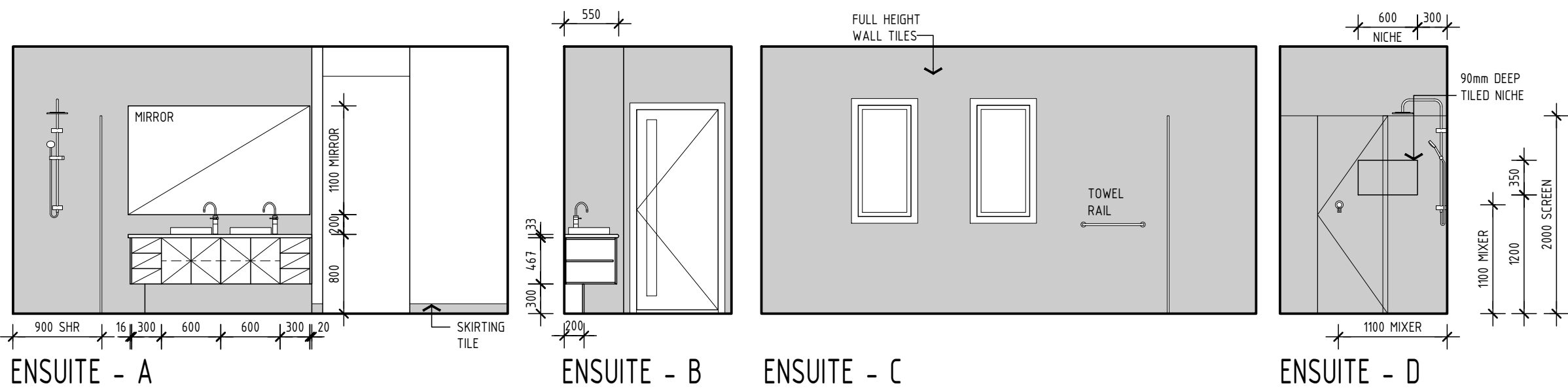
CLIENT:		J & A WOODBRIDGE	
SITE ADDRESS:		LOT 173 PEASNELL STREET LUCAS 3350	
SCALE:	1:50	DATE:	06.04.23
SHEET:	8 OF 11	DRAWN:	TWDS
		SOIL:	P
		WIND:	N2

©2023 THE WORKSHOP DRAFTING STUDIO  
39 WHITES ROAD  
CARDIGAN  
VICTORIA 3352  
0408 975 443  
DP-AD 19938  
drafting4@bigpond.com





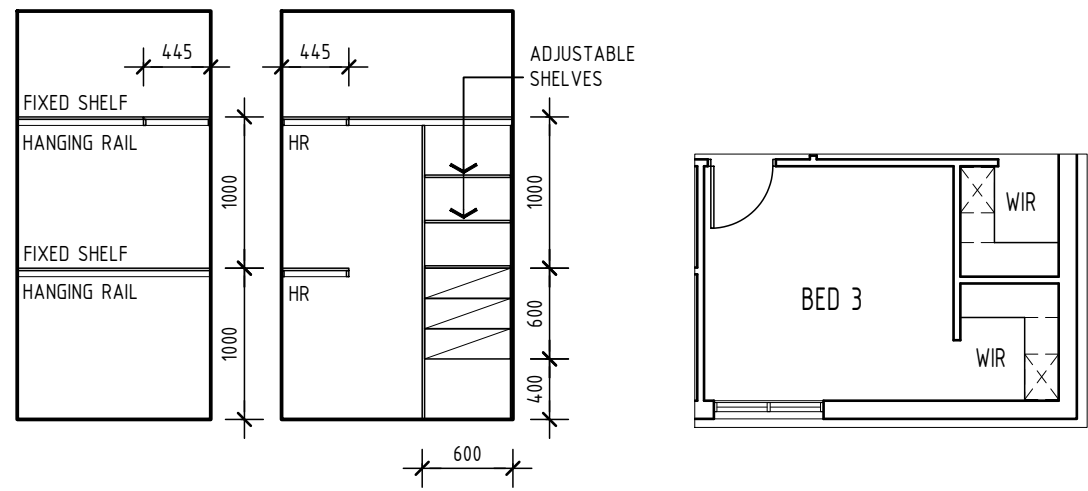
ALL DIMENSIONS ARE EX PLASTER. THESE DETAILS FOR ILLUSTRATIVE PURPOSES ONLY, CABINETMAKER TO CONFIRM BY SITE MEASURE. REFER TO SPECIFICATION FOR DETAILS OF ALL APPLIANCES AND FIXTURES



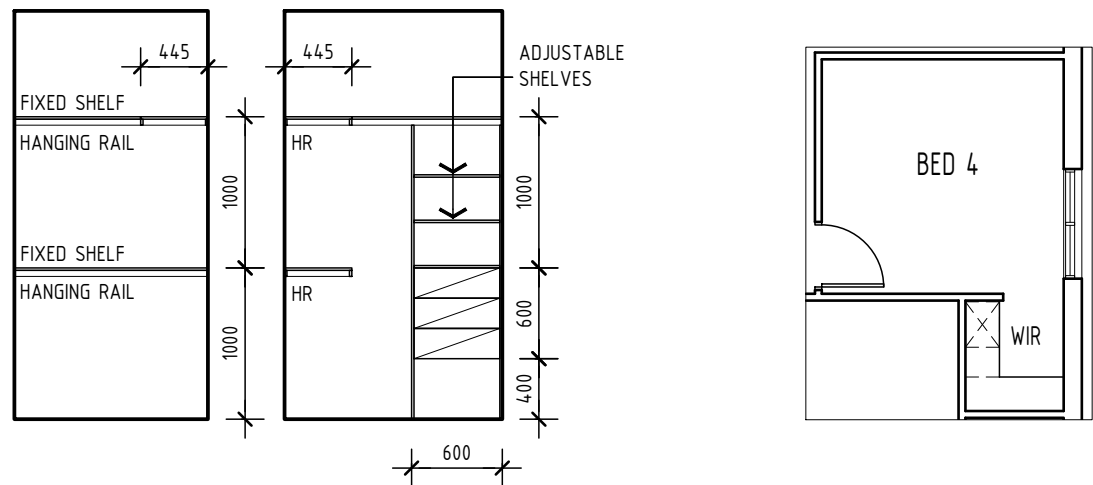
PDR - A      PDR - B      PDR - C      PDR - D      ROBE      LINEN (TYP)      CLOAK - C      CLOAK - D

INTERNAL ELEVATIONS			CLIENT: J & A WOODBRIDGE	
DATE:	AMENDMENT:		SITE ADDRESS:	LOT 173 PEASNELL STREET LUCAS 3350
23.02.23	PRELIMINARY WORKING DRAWINGS ; NOT FOR CONSTRUCTION	SCALE:	1:50	DATE: 06.04.23
03.03.23	PRELIMINARY WORKING DRAWINGS REV A ; NOT FOR CONSTRUCTION	SHEET:	9 OF 11	DRAWN: TWDS
03.04.23	PRELIMINARY WORKING DRAWINGS REV B ; NOT FOR CONSTRUCTION			SOIL: P
06.04.23	CONSTRUCTION DRAWINGS			WIND: N2

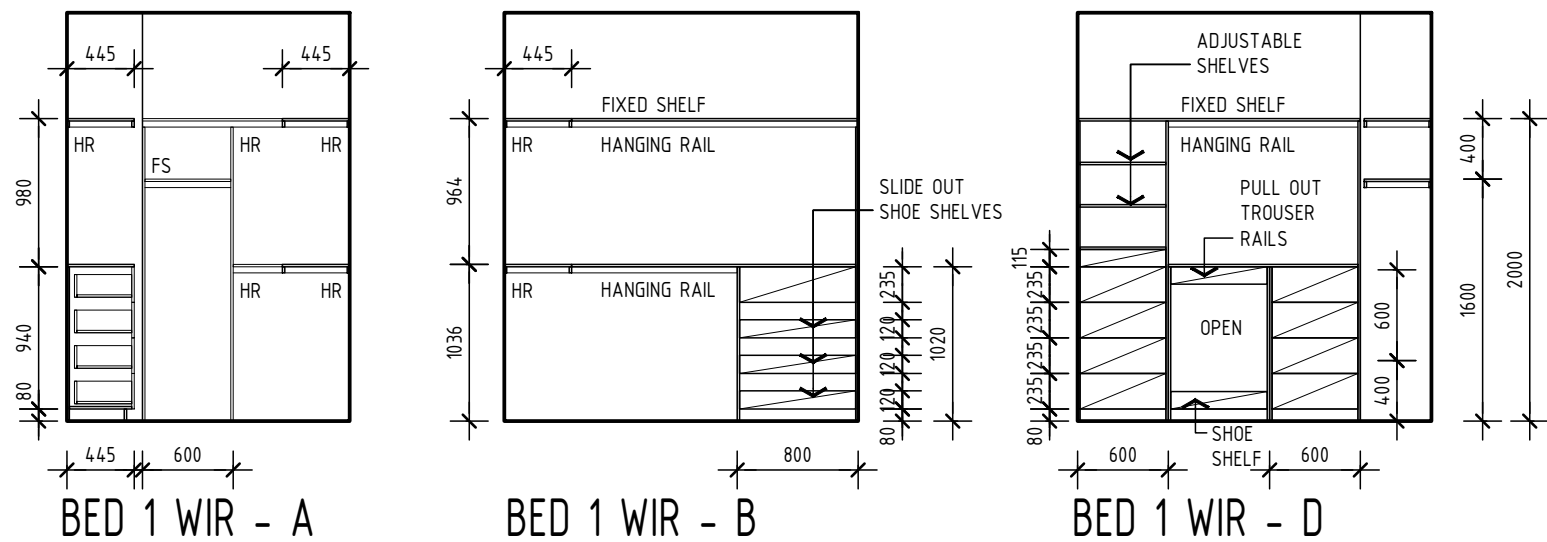
©2023 THE WORKSHOP  
DRAFTING STUDIO  
39 WHITES ROAD  
CARDIGAN  
VICTORIA 3352  
0408 975 443  
DP-AD 19938  
drafting4@bigpond.com



BED 3 WIR - A, B



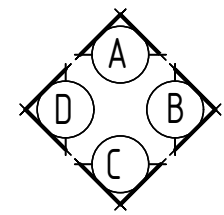
BED 4 WIR - C, D



BED 1 WIR - A

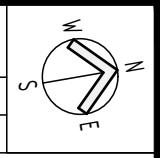
BED 1 WIR - B

BED 1 WIR - D

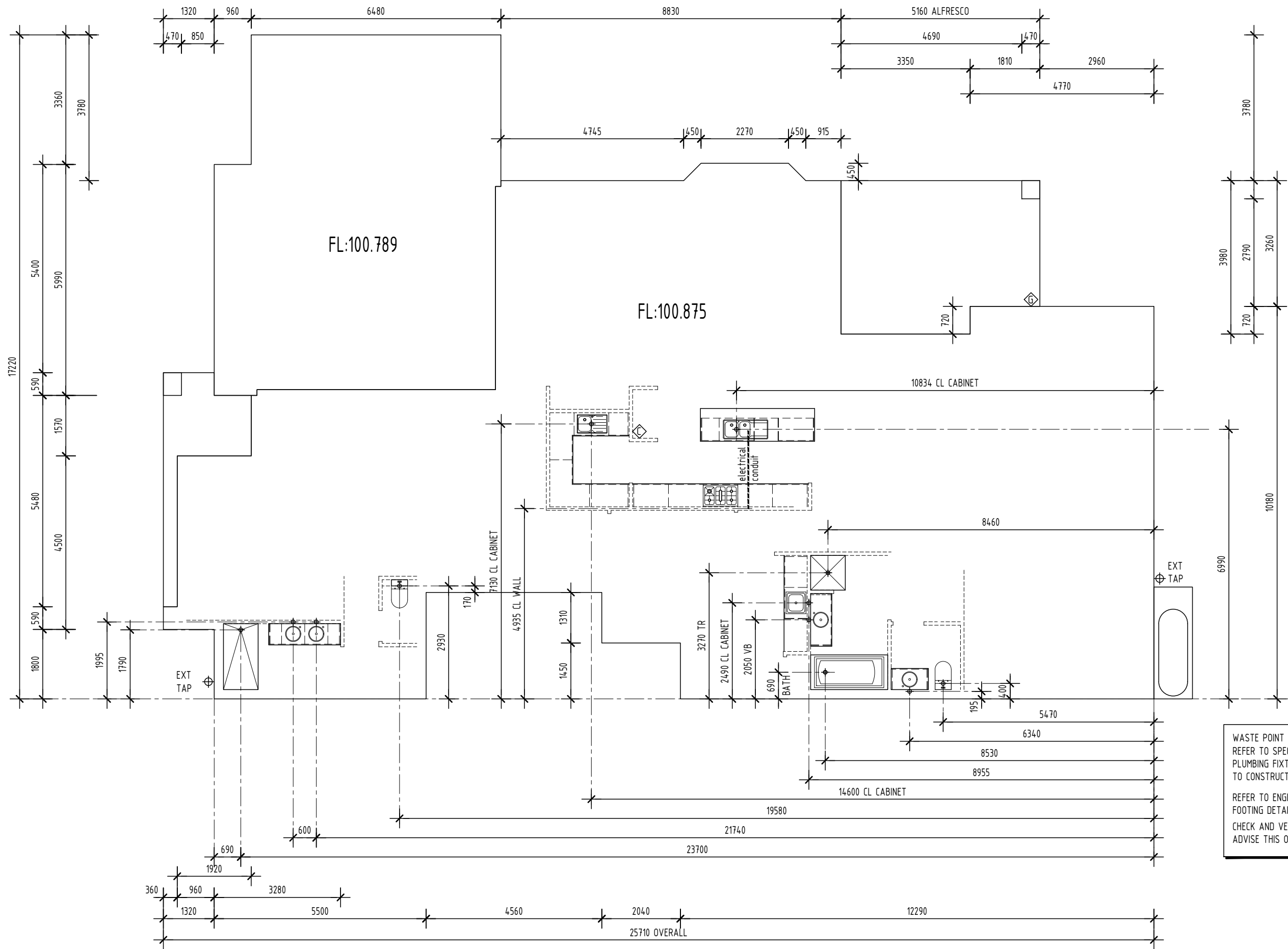


ALL DIMENSIONS ARE EX PLASTER. THESE DETAILS FOR ILLUSTRATIVE PURPOSES ONLY, CABINETMAKER TO CONFIRM BY SITE MEASURE. REFER TO SPECIFICATION FOR DETAILS OF ALL APPLIANCES AND FIXTURES

INTERNAL ELEVATIONS		CLIENT: J & A WOODBRIDGE	
DATE:	AMENDMENT:	SITE ADDRESS:	LOT 173 PEASNELL STREET LUCAS 3350
23.02.23	PRELIMINARY WORKING DRAWINGS ; NOT FOR CONSTRUCTION	SCALE: 1:50	DATE: 06.04.23
03.03.23	PRELIMINARY WORKING DRAWINGS REV A ; NOT FOR CONSTRUCTION	SHEET: 10 OF: 11	SOIL: P
03.04.23	PRELIMINARY WORKING DRAWINGS REV B ; NOT FOR CONSTRUCTION	DRAWN: TWDS	WIND: N2
06.04.23	CONSTRUCTION DRAWINGS		



©2023 THE WORKSHOP  
DRAFTING STUDIO  
39 WHITES ROAD  
CARDIGAN  
VICTORIA 3352  
0408 975 443  
DP-AD 19938

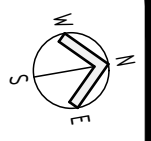


WASTE POINT LOCATIONS ARE APPROXIMATE ONLY;  
REFER TO SPECIFICATION FOR CLIENT SELECTION OF  
PLUMBING FIXTURES AND FITTINGS AND CONFIRM PRIOR  
TO CONSTRUCTION.

REFER TO ENGINEERS SPECIFICATION FOR ALL STRUCTURAL  
FOOTING DETAILS

CHECK AND VERIFY ALL DIMENSIONS PRIOR TO SET OUT;  
ADVISE THIS OFFICE OF ANY DISCREPANCY

SET OUT	
DATE:	AMENDMENT:
23.02.23	PRELIMINARY WORKING DRAWINGS ; NOT FOR CONSTRUCTION
03.03.23	PRELIMINARY WORKING DRAWINGS REV A ; NOT FOR CONSTRUCTION
03.04.23	PRELIMINARY WORKING DRAWINGS REV B ; NOT FOR CONSTRUCTION
06.04.23	CONSTRUCTION DRAWINGS



©2023 THE WORKSHOP  
DRAFTING STUDIO  
39 WHITES ROAD  
CARDIGAN  
VICTORIA 3352  
0408 975 443  
DP-AD 19938

draffing4@bigpond.com

CLIENT:	J & A WOODBRIDGE		
SITE ADDRESS:	LOT 173 PEASNELL STREET LUCAS 3350		
SCALE:	1:100	DATE:	06.04.23
SHEET:	11 OF 11	DRAWN:	TWDS
		SOIL:	P
		WIND:	N2