GENERAL NOTES

THESE DRAWINGS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT (J P & A WOODBRIDGE) OF THE WORKSHOP DRAFTING STUDIO (THE DRAFTSPERSON) FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DRAFTSPERSON. ANY OTHER PERSON WHO USES THESE PLANS WITHOUT THE DRAFTSPERSON'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DRAFTSPERSON FOR SUCH USE AND/OR RELIANCE.

© 2023 THIS WORK IS EXCLUSIVELY OWNED BY THE DRAFTSPERSON AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DRAFTSPERSON

THESE DRAWINGS ARE INTENDED TO BE READ IN CONJUNCTION WITH SOIL REPORT, ENGINEERING PLANS, FRAMING SCHEDULE AND SPECIFICATION DOCUMENTS (ALL PREPARED BY OTHERS) AND ARE NOT INTENDED FOR CONSTRUCTION PURPOSES WITHOUT THE PRIOR WRITTEN APPROVALS AND PERMITS AS REQUIRED BY THE RELEVANT LOCAL AUTHORITY. ALL DETAILS ARE INDICATIVE ONLY AND ARE SUBJECT TO MODIFICATION AS MAY BE REQUIRED TO COMPLY WITH, BUT NOT LIMITED TO, THE BUILDING REGULATIONS, THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS.

ALL STRUCTURAL DETAILS SHOWN IN THESE DOCUMENTS EITHER WRITTEN OR PICTORIAL ARE ILLUSTRATIVE AND INDICATIVE ONLY. REFER TO ENGINEERS SPECIFICATION FOR ALL STRUCTURAL FOOTING, FRAMING, BRACING AND TIE DOWN DETAILS. FRAMING SCHEDULE AND TIE DOWN DETAILS PROVIDED HEREIN ARE DONE SO AT THE INSISTENCE OF THE CLIENT AND NO RESPONSIBILITY IS ACCEPTED BY THE DRAFTSPERSON WHATSOEVER FOR THEIR USE AND/OR RELIANCE. THE CLIENT AGREES TO INDEMNIFY THE DRAFTSPERSON AGAINST ALL ACTIONS, PROCEEDINGS, CLAIMS, DEMANDS, LIABILITIES, EITHER EXPRESS OR IMPLIED, AND ALL COSTS, LOSSES, DAMAGES AND EXPENSES WHATSOEVER WHICH MAY BE TAKEN OR MADE AGAINST THE DRAFTSPERSON OR INCURRED OR BECOME PAYABLE BY THE DRAFTSPERSON RESULTING FROM OR ARISING FROM ANY CLAIM RESULTING FROM THE USE OF THESE DRAWINGS AND DOCUMENTS, OR ANY DRAWINGS AND DOCUMENTS, PROVIDED TO THE DRAFTSPERSON BY THE CLIENT

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ALL WORK TO BE IN ACCORDANCE WITH, BUT NOT LIMITED TO, BUILDING REGULATIONS 2018, BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND ALL NATIONAL, STATE AND LOCAL STATUTORY REQUIREMENTS.

THE CLIENT, BUILDER AND SUBCONTRACTOR(S) SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO COMMENCEMENT OF ANY WORKS DO NOT SCALE-DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE

THESE PLANS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERING SPECIFICATIONS BY OTHERS

ANY DISCREPANCIES BETWEEN THESE PLANS AND CONDITIONS ON SITE OR PLANS PREPARED BY OTHERS TO BE REPORTED IMMEDIATELY. PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660 CEILING ACCESS HATCH LOCATION IS APPROXIMATE ONLY AND MAY BE ADJUSTED TO SUIT FRAME AND TRUSS LOCATIONS

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL STRUCTURES DURING WORKS

WET AREAS

PROVIDE AN IMPERVIOUS SUBSTRATE AND SELECT SURFACE FINISH TO FLOORS WITHIN 1500mm OF AN UNENCLOSED SHOWER AND SAME TO WALLS AT 1800mm ABOVE FLOORS AND 150mm ABOVE BATHS, SINKS, BASINS AND TROUGH SPLASHBACKS AND THE LIKE IN ACCORDANCE WITH BCA PART 3.8.1

GLAZING

SAFETY GLAZING TO BE USED AS REQUIRED IN ACCORDANCE WITH AS 1288

DRAINAGE

ALL STORM WATER TO BE DRAINED TO AN APPROVED POINT OF DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

SANITARY COMPARTMENTS

THE DOOR TO A FULLY ENCLOSED SANITARY COMPARTMENT MUST BE READILY REMOVE-ABLE FROM THE OUTSIDE OF THE COMPARTMENT UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1200mm BETWEEN THE CLOSET PAN WITHIN AND THE DOORWAY IN ACCORDANCE WITH BCA PART 3.8.3.3

SAFE MOVEMENT

ALL STAIRS, STEPS, LANDING, HANDRAILS, BALUSTRADES etc TO BE IN ACCORDANCE WITH BCA PART 3.9.1 AND 3.9.2.

BALUSTRADES AND HANDRAILS MUST BE NOT LESS THAN 865mm ABOVE NOSING LINE AND NOT LESS THAN 1000mm ABOVE AN ACCESS PATH, BALCONY, LANDING OR THE LIKE AND MUST NOT HAVE OPENINGS GREATER THAN 120mm

PROVIDE WINDOW WINDERS WITH OPENING RESTRICTED TO 120mm MAXIMUM WHERE THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH

RISER AND GOING DIMENSIONS:

RISERS MUST BE NOT LESS THAN 115mm AND NOT GREATER THAN 190mm, GOING MUST BE NOT LESS THAN 240mm AND NOT GREATER THAN 355mm AND SLOPE RELATIONSHIP (2R+G) MUST BE NOT LESS THAN 550mm AND NOT GREATER THAN 700mm.

ALL STEPS, LANDINGS AND THE LIKE TO HAVE A SURFACE OR NOSING STRIP WITH A SLIP RESISTANCE CLASSIFICATION NOT LESS THAN P3 OR R10 (DRY) AND P4 OR R11 (WET) WHEN TESTED IN ACCORDANCE WITH AS 4586. STAIR MANUFACTURER TO PROVIDE EVIDENCE OF COMPLIANCE TO RELEVANT BUILDING SURVEYOR PRIOR TO INSTALLATION

SLABS AND FOOTINGS

REFER TO ENGINEERS SPECIFICATION FOR ALL STRUCTURAL FOOTING, FRAMING, BRACING AND CONSTRUCTION/ARTICULATION JOINT DETAILS

CARPENTRY

PREFABRICATED WALL AND ROOF FRAMING TO BE INSTALLED, BRACED AND TIED DOWN IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS ALL FRAMING, BRACING AND TIE DOWN DETAILS TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA, AS1684 AND ANY OTHER RELEVANT REFERENCED STANDARDS AND CODES OF PRACTICE

BRICKWORK

ALL MASONRY WORK TO COMPLY WITH BUILDING CODE OF AUSTRALIA, AS4773, AS3700, CCAA TN61, AS2904 (DAMP PROOF COURSES AND FLASHINGS) AND ANY OTHER RELEVANT REFERENCED STANDARDS

ROOF CLADDING

ROOF CLADDING TO BE INSTALLED IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA, AS2050 (ROOF TILES), AS1562 (SHEET ROOF), AS3500 AND ANY OTHER RELEVANT REFERENCED STANDARDS

FI FCTRICAL

SMOKE DETECTORS SHALL BE INTERCONNECTED AND HARD WIRED WITH BATTERY BACK-UP IN ACCORDANCE WITH BUILDING CODE OF AUSSTRALIA AND AS1670 ALL ELECTRICAL WORK TO BE CARRIED OUT AND CERTIFIED BY A SUITABLY QUALIFIED ELECTRICAL CONTRACTOR

PLASTER

SUITABLE 10mm PLASTERBOARD LINING TO CEILING AND WALLS THROUGHOUT. REFER TO SPECIFICATION FOR CORNICE DETAILS

INSULATION

REFER TO THERMAL PERFORMANCE ASSESSMENT AND ASSOCIATED REPORTS FOR DETAILS OF COMPLIANCE WITH ENERGY EFFICIENCY REQUIREMENTS OF BUILDING CODE OF AUSTRALIA PART 3.12

WHERE A PLIABLE EXTERNAL MEMBRANE IS INSTALLED IN AN EXTERNAL WALL IT MUST COMPLY WITH AS4200.1, BE INSTALLED IN ACCORDANCE WITH AS4200.2, BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF WALL ASSEMBLIES THAT FORM PART OF THE EXTERNAL ENVELOPE OF A BUILDING AND BE A VAPOUR PERMEABLE MEMBRANE.

TABLE OF REVISIONS

REVISION A:

- AMEND PLANS TO CONCUR WITH ENGINEERS FOOTING DESIGN, 375mm WAFFLE PODS AND 100mm SLAB
- CHANGE TO AWNING WINDOWS TO LOUNGE, RUMPUS, BEDROOMS. BATH. PDR

REVISION B:

- AMEND PLANS TO CONCUR WITH THERMAL PERFORMANCE ASSESSMENT
- CHANGE TO REVERSE CYCLE AIR HEAT/COOL INCLUDING 3
 PHASE POWER
- HEAT PUMP HOT WATER ILO GAS INSTANTANEOUS
- ADD 2 CAVITY SLIDING DOORS: WIR AND REAR HALL
- ADD VINYL FLOORING TO REAR HALL
- CHANGE BASINS AND TAPS TO MATCH COLOUR SELECTION
- CHANGE TO FREESTANDING STOVE
- ADD PANTRY OVER HEAD SHELVES
- ADD FIT OUT DETAILS FOR WALK IN ROBES
- CHANGE KITCHEN SINKS TO MATCH COLOUR SELECTION, RELOCATE DISH WASHER TO UNDER KITCHEN ISLAND SINK DRAINFR
- AMEND ELECTRICAL AND DATA CABLING LAYOUT
- ADD CUSTOM SHELVES AND DRAWERS TO WALK IN ROBES
- 1200 ENTRANCE DOOR: NO SIDELITE
- DOUBLE CAVITY DOORS TO LOUNGE ILO FOW SLIDERS

NO FURTHER CHANGES; ISSUED FOR CONSTRUCTION

SAFETY GLAZING:

HUMAN IMPACT SAFETY REQUIREMENTS

GLASS IN DOORS MUST BE GRADE A SAFETY GLAZING MATERIAL IN ACCORDANCE WITH NCC PART 3.6.4.1 TABLE 3.6.5 AND FIGURE 3.6.1, EXCEPT THAT UNFRAMED DOORS, OTHER THAN THOSE INCORPORATED IN SHOWER SCREENS OR BATH ENCLOSURES, MUST BE GLAZED WITH TOUGHENED SAFETY GLASS WITH A MINIMUM NOMINAL THICKNESS OF 10mm; OR LAMINATED TOUGHENED SAFETY GLASS WITH A MINIMUM TOTAL THICKNESS OF 10mm; AND

FOR ANNEALED AND ANNEALED DECORATED GLASS PANELS IN DOORS, FOR 3mm AND 4mm ANNEALED GLASS, THE MAXIMUM AREA MUST NOT BE MORE THAN 0.1m^2 WITH A MAXIMUM PANEL WIDTH OF 125mm; AND

FOR 5mm AND 6mm ANNEALED GLASS, THE MAXIMUM AREA MUST NOT BE MORE THAN 0.26m² WITH A MAXIMUM PANEL WIDTH OF 300mm; AND

FOR ANNEALED GLASS IN FULLY FRAMED PANELS WITH A THICKNESS OF 10mm or more, with or without bevelled edges, the maximum area must not be more than $0.5 \mathrm{m}^2$; and

DOORS IN BATHROOMS, ENSUITES AND SPA ROOMS MUST BE GLAZED IN ACCORDANCE WITH NCC PART 3.6.4.5

ALL FRAMED GLASS IN DOOR SIDE PANELS MUST BE GRADE A SAFETY GLAZING MATERIAL IN ACCORDANCE WITH NCC AND AS1288; GRADE A TOUGHENED AND TOUGHENED LAMINATED SAFETY GLASS 6mm THICK FOR AREAS UP TO 4m²

ALL FULL HEIGHT GLAZING PANELS CAPABLE OF BEING MISTAKEN FOR AN UNOBSTRUCTED OPENING MUST BE GLAZED WITH GRADE A SAFETY GLAZING MATERIAL IN ACCORDANCE WITH NCC AND AS1288; GRADE A TOUGHENED AND TOUGHENED LAMINATE SAFETY GLASS 6mm THICK FOR AREAS UP TO 4m²

ALL FRAMED GLAZING WHERE THE LOWEST SIGHT LINE OF THE GLAZING PANEL IS LESS THAN 500mm FROM THE HIGHEST ABUTTING FINISHED FLOOR LEVEL MUST BE GRADE A SAFETY GLAZING MATERIAL IN ACCORDANCE WITH NCC AND AS1288; GRADE A TOUGHENED AND TOUGHENED LAMINATE SAFETY GLASS 6mm THICK FOR AREAS UP TO 4m² OR 8.38mm THICK GRADE A LAMINATED SAFETY GLASS FOR AREAS UP TO 5m²

ALL GLAZING IN BATHROOMS, ENSUITES AND SPA ROOMS OR THE LIKE INCLUDING SHOWER DOORS, SHOWER SCREENS, BATH ENCLOSURES, AND ASSOCIATED WINDOWS MUST BE GRADE A SAFETY GLAZING MATERIAL IN ACCORDANCE WITH NCC AND AS1288; FOR FRAMED PANELS AND FOR PANELS OR DOORS WITH ANY EDGE EXPOSED, BE GLAZED WITH GRADE A TOUGHENED AND TOUGHENED LAMINATED SAFETY GLASS 6mm THICK FOR AREAS UP TO 4m²

IF THE PRESENCE OF GLAZING IN A DOOR, SIDE PANEL OR PANEL CAPABLE OF BEING MISTAKEN FOR A DOORWAY OR OPENING IS NOT MADE APPARENT IN ACCORDANCE WITH NCC PART 3.6.4.3, THE GLASS MUST BE MARKED TO MAKE IT READILY VISIBLE WITH A MARKING THAT IS IN THE FORM OF AN OPAQUE BAND NOT LESS THAN 20mm IN HEIGHT LOCATED SO THAT THE UPPER EDGE IS NOT LESS THAN 700mm ABOVE THE FLOOR AND THE LOWER EDGE IS NOT MORE THAN 1.2m ABOVE THE FLOOR.

NOTE	NOTES		CLIENT: SITE ADDRESS:	J & A WOODBRIDGE LOT 173 PEASNELL STREET			
DATE: AMENDMENT:		DRAFTING STUDIO	SITE ADDICESS.	LUCAS 3350			
23.02.23	PRELIMINARY WORKING DRAWINGS; NOT FOR CONSTRUCTION	ë CARDIGAN	SCALE: N.T.C		DATE: 04.04.03	SOIL:	
03.03.23	PRELIMINARY WORKING DRAWINGS REV A ; NOT FOR CONSTRUCTION	* VICTORIA 3352 □ 0408 975 443	NTS		06.04.23	JUIL.	Р
03.04.23	PRELIMINARY WORKING DRAWINGS REV B ; NOT FOR CONSTRUCTION	DP-AD 19938	SHEET: , OF:	44	DRAWN: TV (DC	WIND:	110
06.04.23	CONSTRUCTION DRAWINGS		1	11	TWDS		N2

SITE CLASSIFICATION

REFER TO CONSULTING ENGINEERS SITE
CLASSIFICATION REPORT REF No.230044 SOIL
CLASSIFIED AS 'P' IN ACCORDANCE WITH AS2870-2011
SWIVEL JOINTS TO BE INSTALLED IN SEWER AND
STORM WATER CONNECTIONS TO ALLOW FOR SOIL
MOVEMENT IN ACCORDANCE WITH AS2870-2011
AND ENGINEERS SPECIFICATION

DESIGN GUST WIND SPEED ASSESSED AS BEING N2 WIND RATING IN ACCORDANCE WITH AS4055-2012

SITE NOTES

PROPOSAL SUBJECT TO APPROVAL BY DEVELOPER PRIOR TO APPLICATION FOR BUILDING PERMIT

FOUNDING DEPTHS TO BE INCREASED BEYOND THE LINE OF ANGLE OF REPOSE FROM INVERT LEVEL OF PIPES IN EASEMENTS

SCRAPE SITE TO REMOVE SURFACE VEGETATION.
CUT AND FILL BUILDING AREA APPROX 250mm AND
PROVIDE LAYER OF SUITABLE CRUSHED QUARRY PRODUCT
TO ACHIEVE A LEVEL BUILDING PLATFORM WITH APPROX.
FINISHED SURFACE LEVEL OF RL100.4
PROVIDE ADDITIONAL SCRAPE TO GARAGE AREA TO
ACCOMMODATE 86mm WAFFLE SLAB STEP DOWN.

REFER TO ENGINEERS SPECIFICATION FOR ALL STRUCTURAL FOOTING AND FRAMING DETAILS.

SUSTAINABILITY

PROVIDE EVACUATED TUBE SOLAR HOT WATER SYSTEM WITH GAS BOOST IN ACCORDANCE WITH PLUMBING REGULATIONS AND AS 4234

STORM WATER

STORM WATER DRAINAGE LAYOUT IS INDICATIVE ONLY AND WILL BE LAID IN ACCORDANCE WITH ENGINEERS DESIGN OR OTHERWISE AT THE DISCRETION OF A SUITABLY QUALIFIED TRADESPERSON

- SP PROVIDE AG DRAINS TO BASE OF EXCAVATIONS AND DISCHARGE TO APPROVED POINT VIA SILT PITS
- ALL STORM WATER TO DISCHARGE TO THE APPROVED POINT IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

2000 LITRE RAINWATER TANK TO BE CONNECTED TO SANITARY FLUSHING IN ACCORDANCE WITH PLUMBING REGULATIONS AS 3500-1998; TO COLLECT WATER FROM MINIMUM 50m² OF ROOF AREA

SITE AREA ANALYSIS

 SITE AREA
 700m²

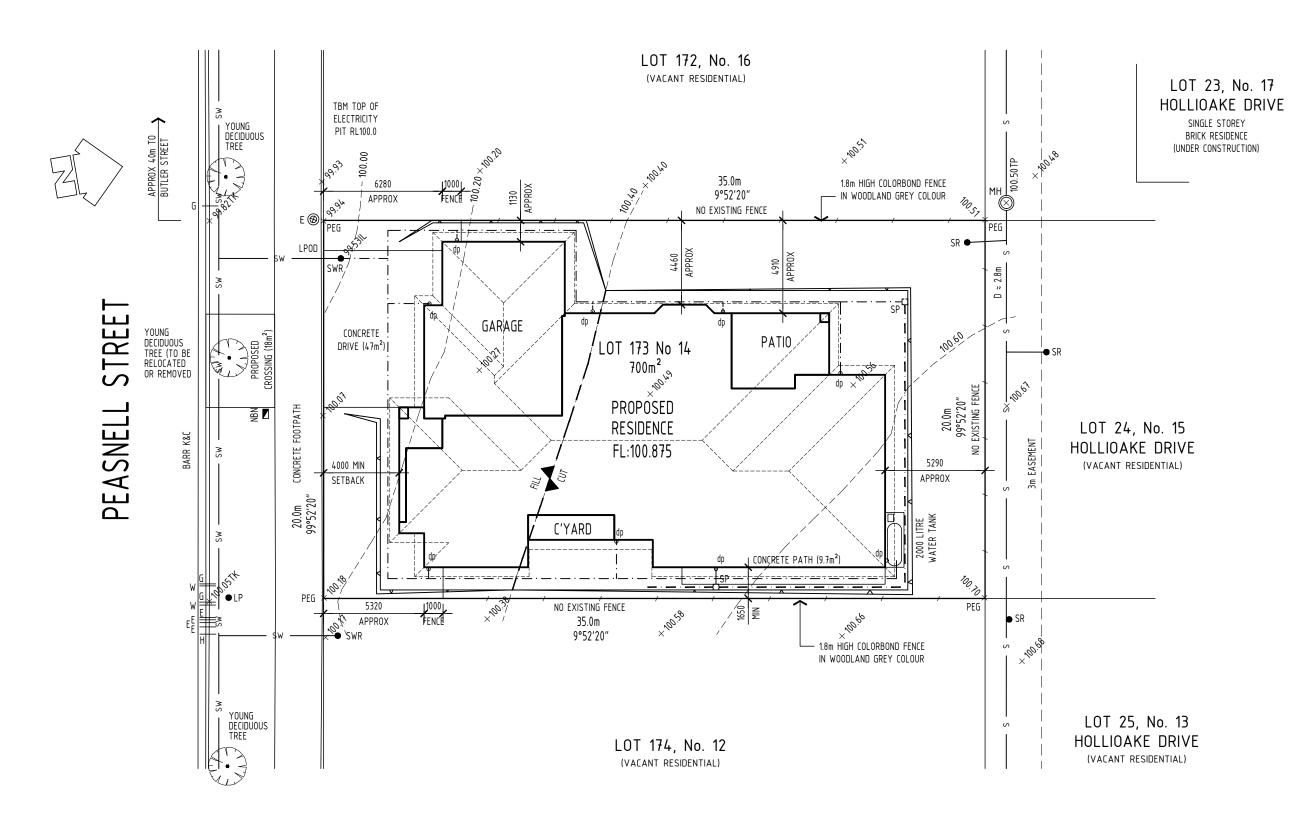
 HARD SURFACES
 57m²

 SITE COVERAGE
 343.5m² (49.1%)

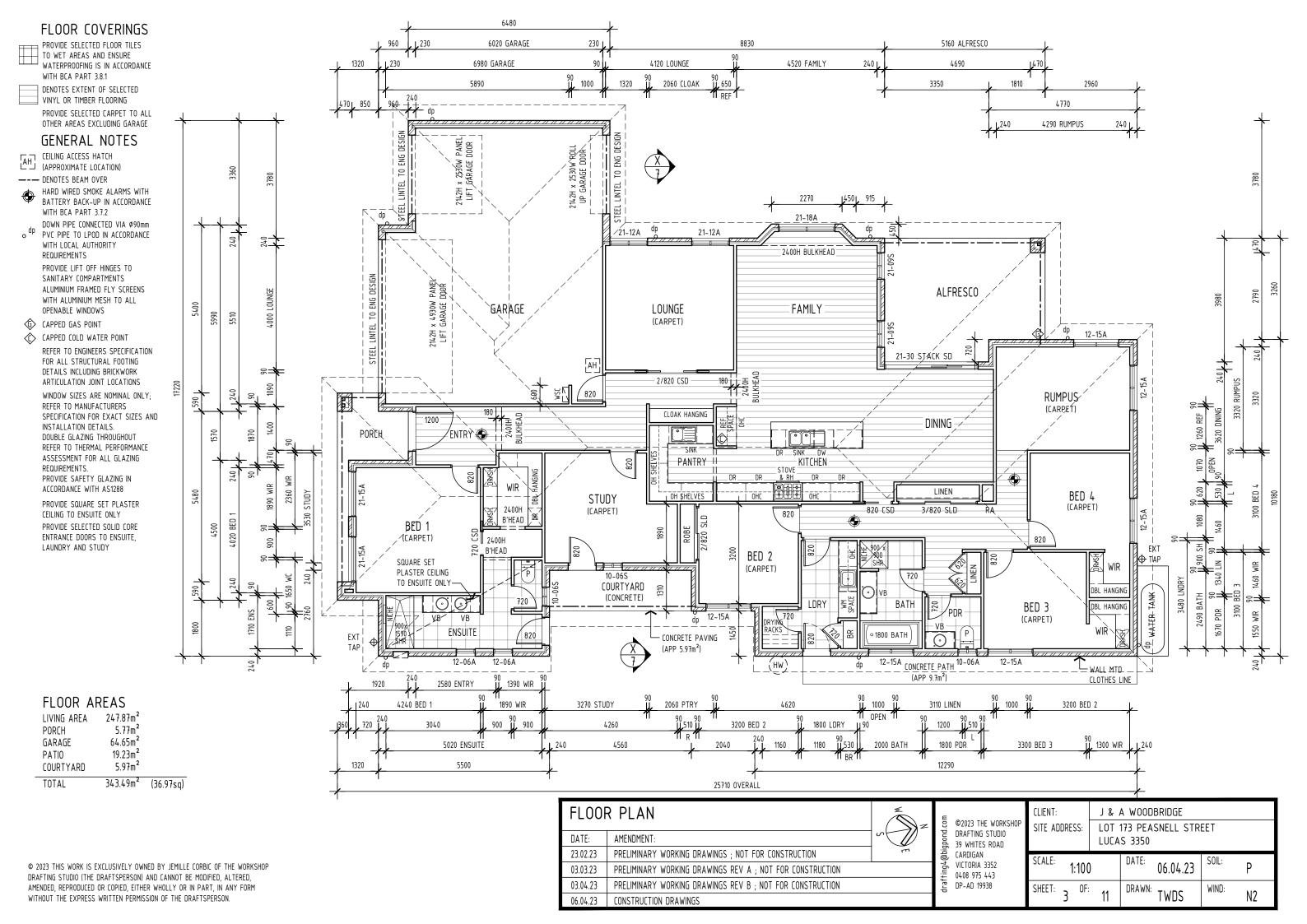
 GARDEN AREA
 2309.6m² (44.2%)

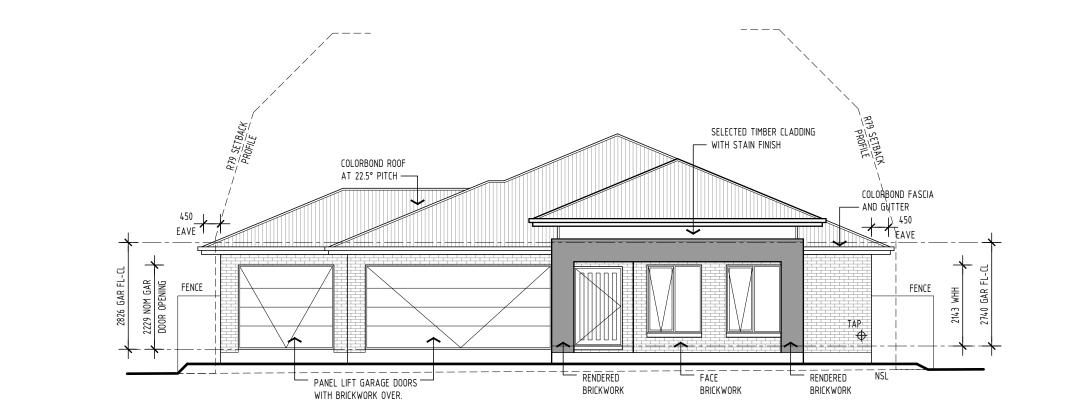
 PRIVATE OPEN SPACE
 382m²

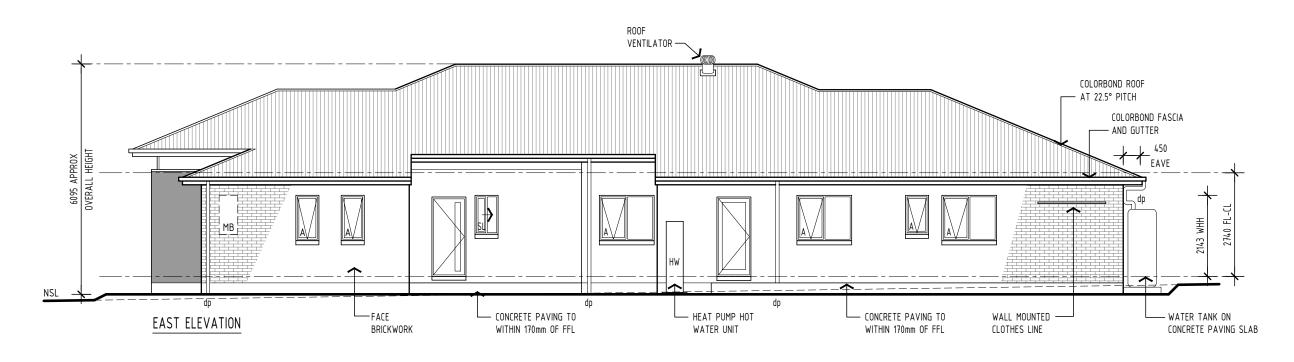
 PERMEABILITY
 300m² (42.8%)



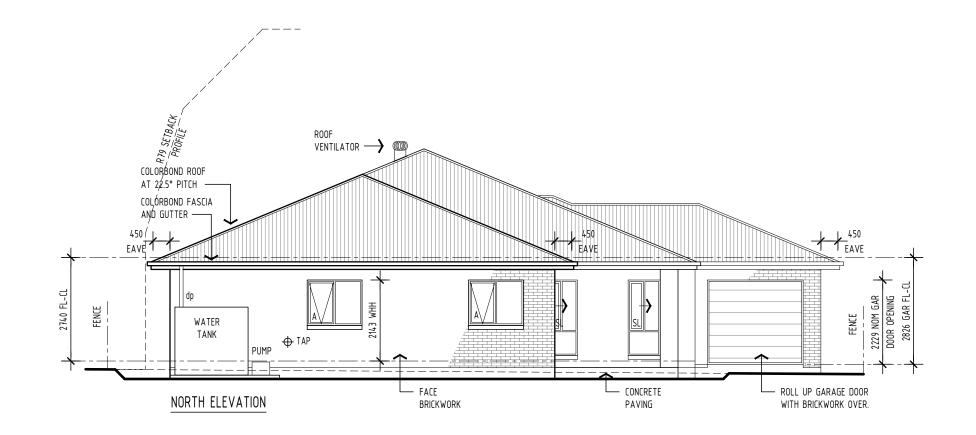
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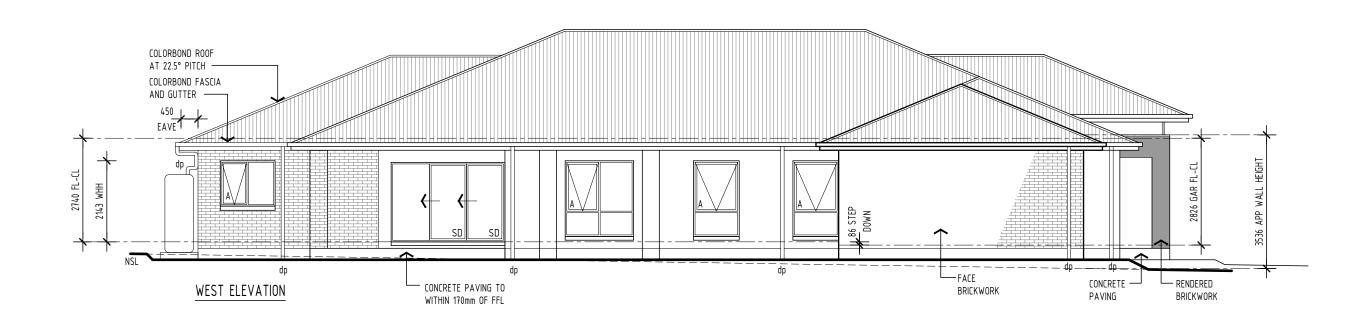






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LIGH	LIGHTING LEGEND		CEILING FAN	DATA				
\bigcirc	CEILING LIGHT BATTEN HOLDER	X	CEILING FAN WITH LIGHT	CAT6UC	CAT 6 UNTERMINATED LEFT IN CEILING (4 OFF)			
0	PENDANT LIGHT FITTINGS	<u></u>	PARAFLOOD LIGHT - SINGLE	CAT6UE	CAT 6 UNTERMINATED LEFT IN EAVE (8 OFF)			
Ø	LOW VOLTAGE DOWNLIGHT (LED)	Sp.	PARAFLOOD LIGHT - DOUBLE	CAT6	CAT 6 TERMINATED NEXT TO GPO (5 OFF)			
ΧŒ	LV DOWNLIGHT (LED) ON GIMBLE	K	SECURITY MOTION SENSOR	WSC	WIRED SERVICES CABINET			
•	EXTERNAL LIGHT POINT	1200	1200 LED FLUORO - SINGLE	ALL DATA CABLES TO BE RUN BACK TO WSC @ 2300 HIGH AND PATCHED RJ45 T568A				
X	DIMMER LIGHT SWITCH	1200	1200 FLUORO - DOUBLE					
000	HEATER/FAN/LIGHT - 4 GLOBE		CEILING EXHAUST FAN					

POW	/ER LEGEND	×	DOUBLE GPO - 300mm
夂	SINGLE GPO - 300mm	**	DOUBLE GPO - 1100mm (OR ABOVE BENCH)
?	SINGLE GPO - 1100mm	**	DOUBLE GPO - 1350mm
₹	SINGLE GPO - 1350mm	∇	TELEVISION POINT
WP	WEATHERPROOF	(i)	CAPPED GAS POINT
•	SINGLE GPO FOR DISHWASHER	•	SMOKE DETECTOR
Т	TELEPHONE POINT		METER BOX
②	SINGLE GPO FOR MICROWAVE IN CABINET	\varnothing	STOVE & R'HOOD CONNECTIONS
DATA	DATA DATA POINT		WIRED SERVICES CABINET

HEAT	TING LEGEND
•	HEATING REGISTER (CEILING)
O	THERMOSTAT
◀	RETURN AIR VENT
E	EVAPORATIVE COOLING REGISTER (CEILING)
M	EVAPORATIVE COOLING UNIT (ON ROOF)
ALL DETA	ILC TO DE VEDICIED AND CONFIDMED DV

ALL DETAILS TO BE VERIFIED AND CONFIRMED BY
APPOINTED INSTALLER, LOCATIONS ARE SUBJECT TO
CHANGE AND DEPENDENT UPON LOCATION OF STRUCTURAL
MEMBERS. REFER MANUFACTURERS SPECIFICATION FOR
ELECTRICAL CONNECTION DETAILS

NOTE:

THE LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF INTERNAL ARTIFICIAL LIGHTING MUST NOT EXCEED 5W/m², 4W/m² FOR A VERANDAH AND 3W/m² IN A CLASS 10a BUILDING IN ACCORDANCE WITH BCA PART 3.12.5.5

LIVING AREA 247.87m²
37 No 9W LED DOWN LIGHTS = 333W
3 No 9W LED PENDANT LIGHTS = 27W
TOTAL = 360W/247.87m² = 1.45W/m²

PORCH AREA 5.77m² 1No 9W LED DOWN LIGHT = 9W TOTAL = 9W/5.77m² = 1.56W/m²

PATIO AREA 19.23m² 4 No 9W LED DOWN LIGHTS = 36W TOTAL = 36W/19.23m² = 1.87W/m²

GARAGE AREA 64.65m²
3 No 27W FLOURESCENT LED = 81W
TOTAL = 81W/64.65m² = 1.25W/m²

AIR EXHAUST SYSTEMS TO SANITARY COMPARTMENTS AND BATHROOMS TO HAVE A MINIMUM FLOW RATE OF 25L/MIN AND MUST BE EXHAUSTED DIRECTLY TO THE ATMOSPHERE VIA SHAFT OR DUCT.

AIR EXHAUST SYSTEMS FOR KITCHEN AND LAUNDRY TO HAVE A MINIMUM FLOW RATE OF 40L/MIN.

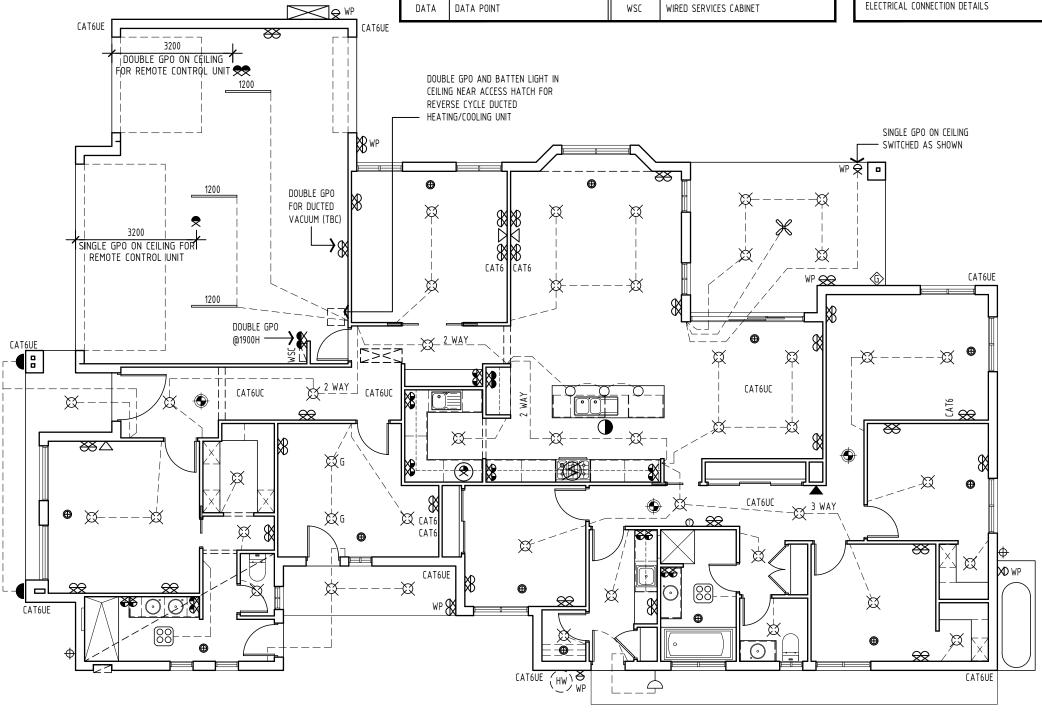
ALL EXTERNALLY VENTED AIR EXHAUST SYSTEMS TO BE FITTED WITH SELF CLOSING DAMPERS

EXTERNAL LIGHT FITTINGS TO HAVE DAYLIGHT SENSORS

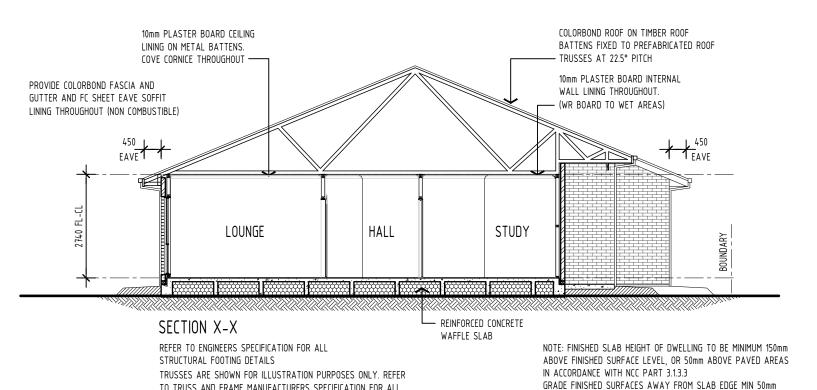
ALL DOWNLIGHTS TO BE IC RATED (SUITABLE FOR CONTACT WITH INSULATION)

BUILDER TO INSTALL CLIENT SUPPLIED BACK-LIT MIRRORS TO ENSUITE AND WIR INCLUDING ELECTRICAL CONNECTION. CLIENT TO PROVIDE DETAILS. 2 No TOTAL

BUILDER TO INSTALL CLIENT SUPPLIED DIGITAL LOCKS TO ALL EXTERNAL DOORS AND INTERNAL GARAGE ACCESS DOOR. CLIENT TO PROVIDE DETAILS.



ELECT	ELECTRICAL LAYOUT		©2023 THE WORKSHOP			J & A WOODBRIDGE LOT 173 PEASNELL STREET				
DATE:	AMENDMENT:	S	DRAFTING STUDIO 음 39 WHITES ROAD	5112 1122112351	LUCAS 3350					
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EXTERNAL STUD FRAMES AND INTERNAL GARAGE/HOUSE STUD FRAMES. PROVIDE MIN R5.0 THERMAL INSULATION BATTS TO CEILINGS EXCLUDING GARAGE. PROVIDE R1.3 ANTICON BLANKET TO ROOF EXCLUDING GARAGE. PROVIDE DRAUGHT EXCLUDERS TO ALL EXTERNAL PROVIDE SELF CLOSING DAMPERS TO ALL EXHAUST PROVIDE VAPOUR PERMEABLE SARKING UNDER ROOF SHEETS, SISALATION MD 433 OR SIMILAR AND VAPOUR PERMEABLE FRAME WRAP, BRADFORD ENVIROSEAL RW OR SIMILAR TO EXTERNAL WALL FRAMES: LAP AND TAPE JOINS AND PENETRATIONS SECURELY PROVIDE DOUBLE GLAZING TO WINDOWS AND GLAZED EXTERNAL SLIDING DOORS THROUGHOUT REFER TO THERMAL PERFORMANCE ASSESSMENT FOR GLAZING REQUIREMENTS AND FOR ALL DETAILS OF COMPLIANCE WITH ENERGY EFFICIENCY PROVISIONS OF BCA PART 3.12 100mm SLAB THICKNESS WITH 375mm WAFFLE PODS IN ACCORDANCE WITH ENGINEERS DESIGN REF 230044 WHERE THERE IS DOUBT, BUILDER TO REFER TO ABCB PUBLICATION 'CONDENSATION IN BUILDINGS' FOR GUIDANCE

THERMAL PERFORMANCE:

PROVIDE MIN R2.5 THERMAL INSULATION BATTS TO ALL

REFER TO TRUSS AND WALL FRAME MANUFACTURERS SPECIFICATION FOR BRACING AND TIE DOWN DETAILS									
SPECIFICA	TION FOR BRA	ACING A	ND TIE	DOWN	DETAIL	S			
35mm BOT	TOM PLATE (JD5)-SI	NGLE S	TOREY	TO CON	ICRETE	SLAB		
TRUSS SPAN (mm)	FIXING SPACING		(HIP		ND CLAS		ION 15° AND	25°)	
		N	11	N	12	N	13	N	4
		TILE	SHEET	TILE	SHEET	TILE	SHEET	TILE	SHEET
<3000	450	N	N	N	N	N	N	N	N
	600	N	N	N	N	N	N	N	M10
	900	N	N	N	N	N	N	M10	M10
	1200	N	N	N	N	N	M10	M10	M10
<6000	450	N	N	N	N	N	M10	M10	M10
	600	N	N	N	N	N	M10	M10	M10
	900	N	N	N	N	N	M10	M10	M10
	1200	N	N	N	M10	M10	M10	M10	M10
<9000	450	N	N	N	N	N	M10	M10	M10
	600	N	N	N	M10	N	M10	M10	M10
	900	N	N	N	M10	N	M10	M10	M10
	1200	N	N	N	M10	M10	M10	M10	M12
<12000	450	N	N	N	M10	N	M10	M10	M10
	600	N	N	N	M10	M10	M10	M10	M10
	900	N	N	N	M10	M10	M10	M10	M12
	1200	N	N	N	M10	M10	M10	M10	M12
<15000	450	N	N	N	M10	M10	M10	M10	M10
	600	N	N	N	M10	M10	M10	M10	M12
	900	N	N	N	M10	M10	M10	M10	M12
	1200	N	N	N	M10	M10	M12	M12	M12

TO TRUSS AND FRAME MANUFACTURERS SPECIFICATION FOR ALL

TRUSS, FRAME, BRACING, TIE DOWN AND INSTALLATION DETAILS

N=NOMINAL FIXING: 1x75mm MASONRY NAIL (HAND DRIVEN AT SLAB EDGE) M10=1/M10x100 RAMSET ANKASCREW (AT SLAB EDGE) M12=1M12x100 RAMSET ANKASCREW (AT SLAB EDGE)

LINTELS	T ROOF (F17) KDHW E STOREY		SHEET ROOF LINTELS (F17) KDHW SINGLE STOREY				
TRUSS SPAN (mm)	OPENING WIDTH	F17	TRUSS SPAN (mm)	OPENING WIDTH	F17		
UP TO 3000	900	90x35	6000 TO 9000	900	90x35		
	1200	90x35		1200	90x45		
	1500	90x35		1500	2/90x45		
	1800	90x45		1800	140x35		
	2100	2/90x35		2100	2/120x45		
	2400	120x45		2400	2/140x45		
	3000	2/140x35		3000	2/170x45		
	3600	2/190x35		3600	2/240x35		
3000 TO 6000	900	90x35	9000 TO 12000	900	90x35		
	1200	90x35		1200	2/90x35		
	1500	2/90x35		1500	120x45		
	1800	2/90x45		1800	2/120x35		
	2100	2/120x35		2100	2/140x35		
	2400	2/120x45		2400	190x45		
	3000	2/170x35		3000	2/190x45		
	3600	2/240x35		3600	2/240x45		

OVER THE FIRST 1m. REFER TO ENGINEERS SPECIFICATION FOR

SURFACE DRAINAGE REQUIREMENTS

ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH NCC 2018 (BCA) AND COMPLY WITH AS 1684-CURRENT EDITION

TIMBE	TIMBER FRAMING						
MEMBER	SIZE						
TOP PLATE	2/90x35 MGP10						
BOTTOM PLATE	90x45 MGP10						
COMMON STUDS	90x35 MGP10 @450mm CTS, 2700mm MAX HEIGHT						
NOGGINGS	70x35 MGP10 @1350mm CTS MAX						

AS3740 3.13.5 UNENCLOSED SHOWERS REQUIREMENTS FOR UNENCLOSED SHOWERS ARE AS FOLLOWS:

TYPE 1 - A TYPE 1 UNENCLOSED SHOWER HAS A DEVICE THAT WILL RESTRICT SPLASHING DURING USE (SEE NOTE 1).

A WATER STOP SHALL BE PLACED UNDER THE DEVICE AND ACROSS THE OPENING OF THE SHOWER OF A TYPE 1 SHOWER SCREEN. NOTES:

1. An example of a Type 1 unenclosed shower is a frameless glass shower screen.

2. It is advisable to have either the screed drained or a membrane placed on the top of the screed to prevent water retention in the screed beyond the water stop.

TYPE 2 - A TYPE 2 UNENCLOSED SHOWER DOES NOT HAVE A DEVICE THAT WILL RESTRICT SPLASHING. NOTF.

An example of a Type 2 unenclosed shower is a shower for people with disabilities.

THE WATER STOP OF A TYPE 2 SHOWER SHALL BE A DISTANCE OF A MINIMUM OF 1500mm FROM THE WALL CONNECTION OF THE SHOWER ROSE.

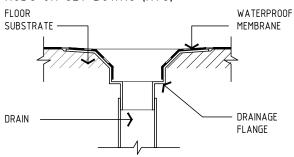
FOR TYPE 1 AND TYPE 2 UNENCLOSED SHOWERS, THE WATER STOP SHALL HAVE THE VERTICAL LEG FINISH FLUSH WITH THE FINISH SURFACE OF THE FLOOR AND. WHERE THE WATER STOP INTERSECTS WITH OR JOINS A WALL, THE JUNCTION SHALL BE WATERPROOF.

FALLS IN SHOWER FLOORS SHALL BE SUFFICIENT TO

PREVENT SURFACE WATER FROM BEING RETAINED ON THE SHOWER FLOOR (EXCEPT FOR RESIDUAL WATER REMAINING DUE TO SURFACE TENSION): AND WATER FROM DISCHARGING OUTSIDE THE SHOWER AREA. FOR SHOWER AREAS WITH A VERTICAL SEPARATION BETWEEN THE SHOWER AREA AND THE WET AREA, SUCH AS A SHOWER SCREEN, HOB, STEP-DOWN OR WATER STOP. THE FALL TO THE WASTE SHALL BE 1:100. AS A MINIMUM FOR OTHER SHOWER AREAS, THE FALL SHALL BE A MINIMUM OF 1:80

SHOWER **BATHROOM** AREA AREA BOTTOM OF SHOWER SCREEN TRACK FLOOR TILES -SEALANT ON TILE BED OUTSIDE ONLY WATER STOP TO BE CONTINUOUS AROUND WHOLE SHOWER SCREEN MEMBRANE MEMBRANE SUPPORT FL00R SUBSTRATE FLOOR SUBSTRATE

SHOWERS WITHOUT HOBS OR SET DOWNS (NTS)



WATERPROOF MEMBRANE TO DRAINAGE CONNECTION (NTS)

AT THE EXTREMITY OF THE SHOWER AREAa) WHERE A SHOWER SCREEN IS TO BE INSTALLED, A WATER STOP SHALL BE POSITIONED SO THAT ITS' VERTICAL LEG WILL FINISH A MINIMUM OF 5mm ABOVE THE FINISHED FLOOR LEVEL; AND b) WHERE THE STOP INTERSECTS WITH A WALL OR IS JOINED, THE JUNCTION SHALL BE WATERPROOF MEMBRANE TERMINATION TO A DRAINAGE FLANGE:

A DRAINAGE FLANGE SHALL BE INSTALLED ANGLE ADHERED AND/OR WITH THE WATERPROOFING MEMBRANE MECHANICALLY FIXED TO TERMINATED AT/IN THE DRAINAGE FLANGE TO PROVIDE A WATERPROOF CONNECTION

IT IS PREFERABLE TO REBATE THE DRAINAGE FLANGE INTO THE SUBSTRATE

VERTICAL MEMBRANE TERMINATION: THE MEMBRANE SHALL BE APPLIED OVER THE FLOOR SUBSTRATE AND UP THE VERTICAL FACE OF THE WALL-

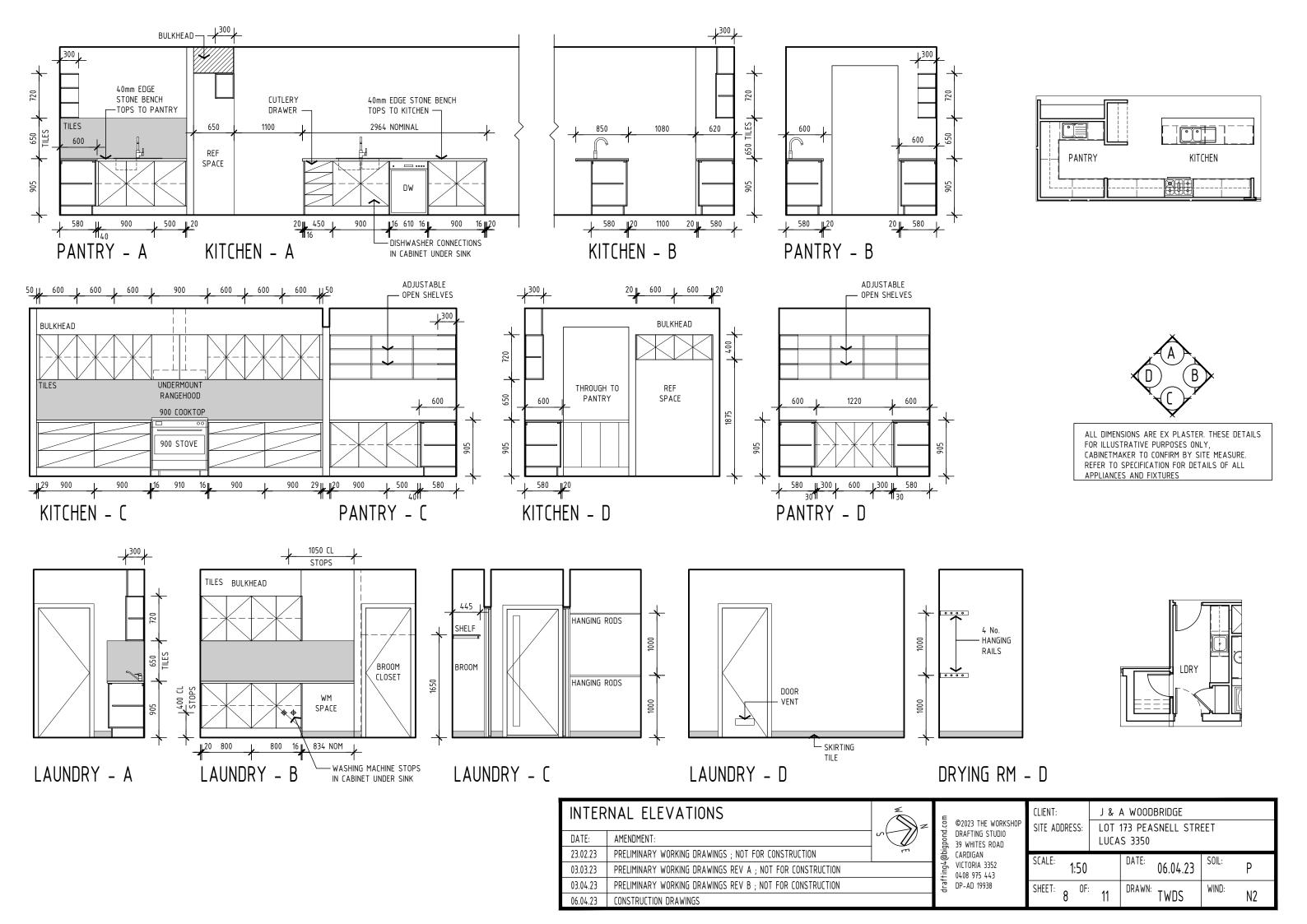
a) FOR SHOWERS WITH HOBS AND STEP-DOWNS, A MINIMUM HEIGHT OF 150mm ABOVE THE FINISHED TILE LEVEL OF THE FLOOR OR 25mm ABOVE THE MAXIMUM RETAINED WATER LEVEL, WHICHEVER IS THE GREATER;

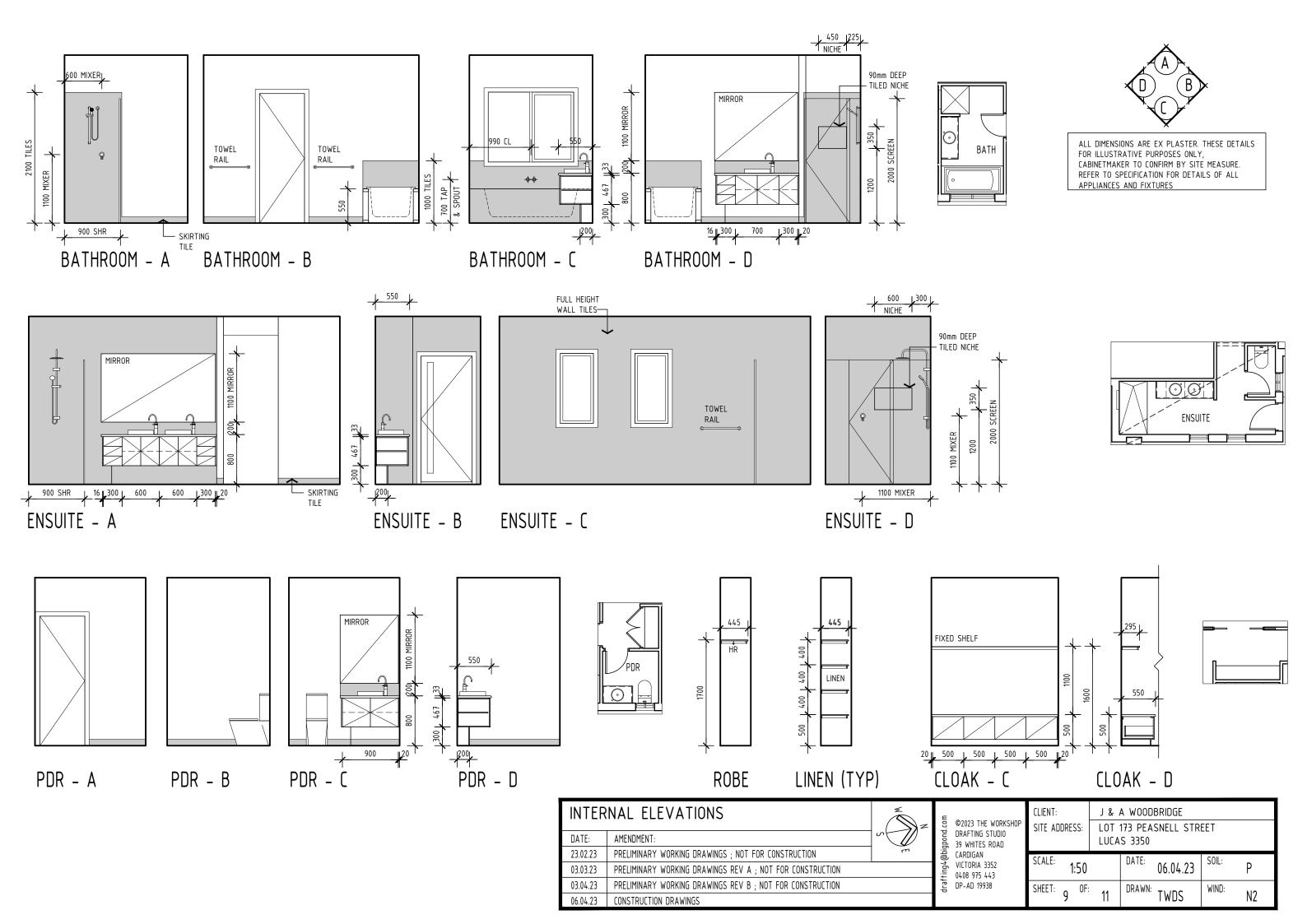
b) FOR HOBLESS SHOWERS, A MINIMUM HEIGHT OF 150mm ABOVE THE HIGHEST FINISHED TILE LEVEL OF THE FLOOR WITHIN THE SHOWER

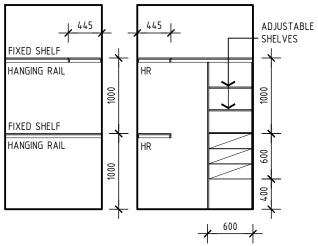
c) FOR VERTICAL FLASHING IN SHOWER AREAS, AS SPECIFIED IN CLAUSE 3.9.2 OF AS3740

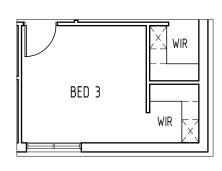
IN ANY CASE, ALL WATERPROOFING TO COMPLY WITH PROVISIONS OF PART 3.8.1 OF NCC

SECTIONS, DETAILS		Ž Z	© ©2023 THE WORKSHOP	CLIENT: SITE ADDRESS:	J & A WOODBRIDGE LOT 173 PEASNELL STREET			
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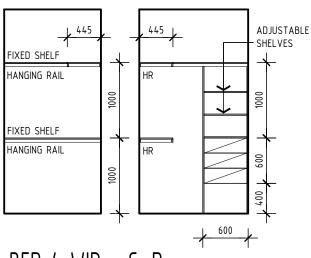


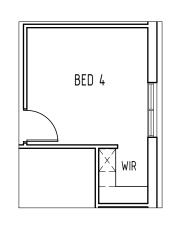




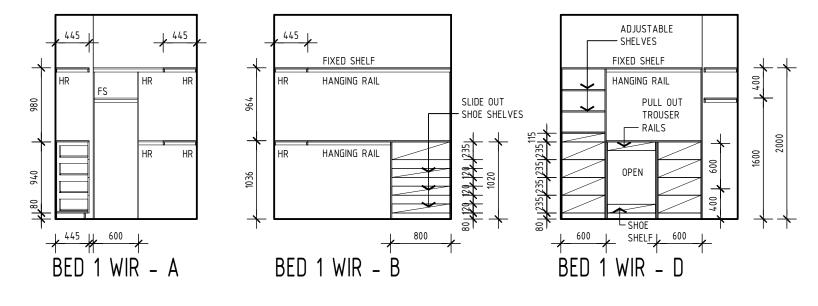


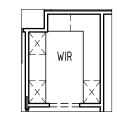
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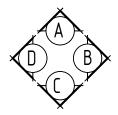




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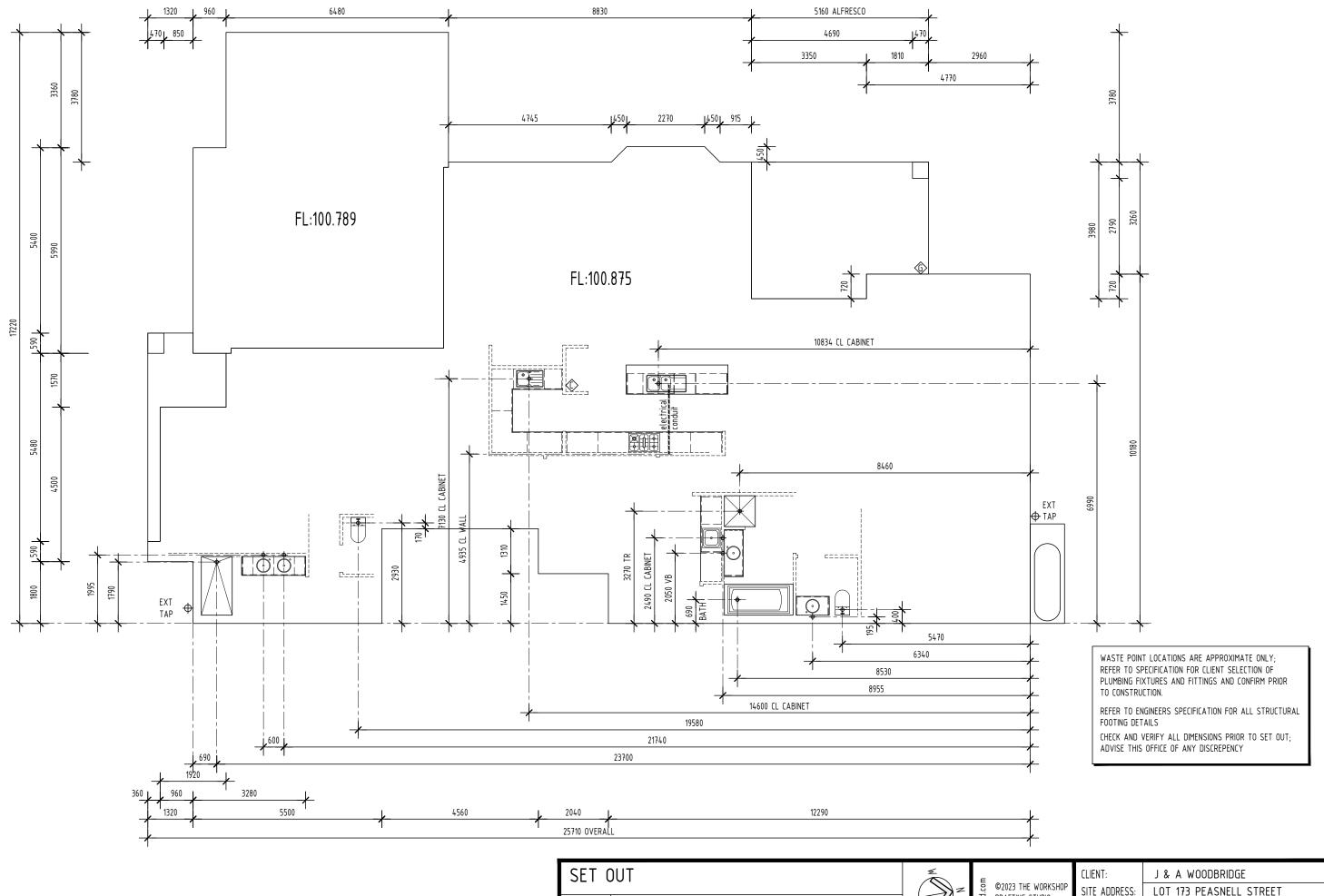




ALL DIMENSIONS ARE EX PLASTER. THESE DETAILS FOR ILLUSTRATIVE PURPOSES ONLY, CABINETMAKER TO CONFIRM BY SITE MEASURE. REFER TO SPECIFICATION FOR DETAILS OF ALL APPLIANCES AND FIXTURES

WIND:

INTERNAL ELEVATIONS		Z		©2023 THE WORKSHOP DRAFTING STUDIO	CLIENT: SITE ADDRESS:		J & A WOODBRIDGE				
							LOT 173 PEASNELL STREET				
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